

DESIGN REVIEW APPLICATION FOR 420 PLACERVILLE DR. COMMERCIAL BLDG

416-426 PLACERVILLE DR
PLACERVILLE, CA 95667



PROJECT TEAM

OWNER
JOHN WILLIAMS
420 PLACERVILLE DR
PLACERVILLE, CA 95667
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EMAIL:

DESIGNER
D&Z STRUCTURAL ENGINEERING, INC.
3389 MIRA LOMA DR. #3
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EMAIL: jdillingham@dz-engineering.com

CONTRACTOR

PHONE:
CONTACT:
EMAIL:

PROJECT INFORMATION

ADDRESS: 420 PLACERVILLE DR
PLACERVILLE, CA 95667
APN: 323-400-13-100
ZONE: C
OCCUPANCY TYPE: B
CONSTRUCTION TYPE: V-B
PARCEL AREA: 5.0 AC
BUILDING AREA:

426 PLACERVILLE DR (TENANT SPACE 1)	710
424 PLACERVILLE DR (TENANT SPACE 2)	1,165
418/420/422 PLACERVILLE DR (TENANT SPACE 3)	1,370
416 PLACERVILLE DR (TENANT SPACE 4)	628
UTILITY / STORAGE	164
TOTAL TENANT SPACE =	3,873
TOTAL AREA =	4,037

(ACTUAL STREET NUMBER FOR EACH UNIT TBD)

APPLICABLE CODE:
2022 CALIFORNIA BUILDING CODE, CALIFORNIA GREEN STANDARDS CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA ELECTRICAL CODE, CALIFORNIA FIRE CODE, CALIFORNIA ENERGY CODE, AND CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE AS AMENDED BY THE STATE OF CALIFORNIA AND THE LOCAL JURISDICTION AND THE LATEST VERSION OF ALL OTHER CODES ADOPTED BY THE LOCAL JURISDICTION ARE APPLICABLE TO THIS PROJECT. THIS PROJECT REQUIRES COMPLIANCE WITH THESE CODES.

SHEET INDEX

T1	TITLE COVER SHEET
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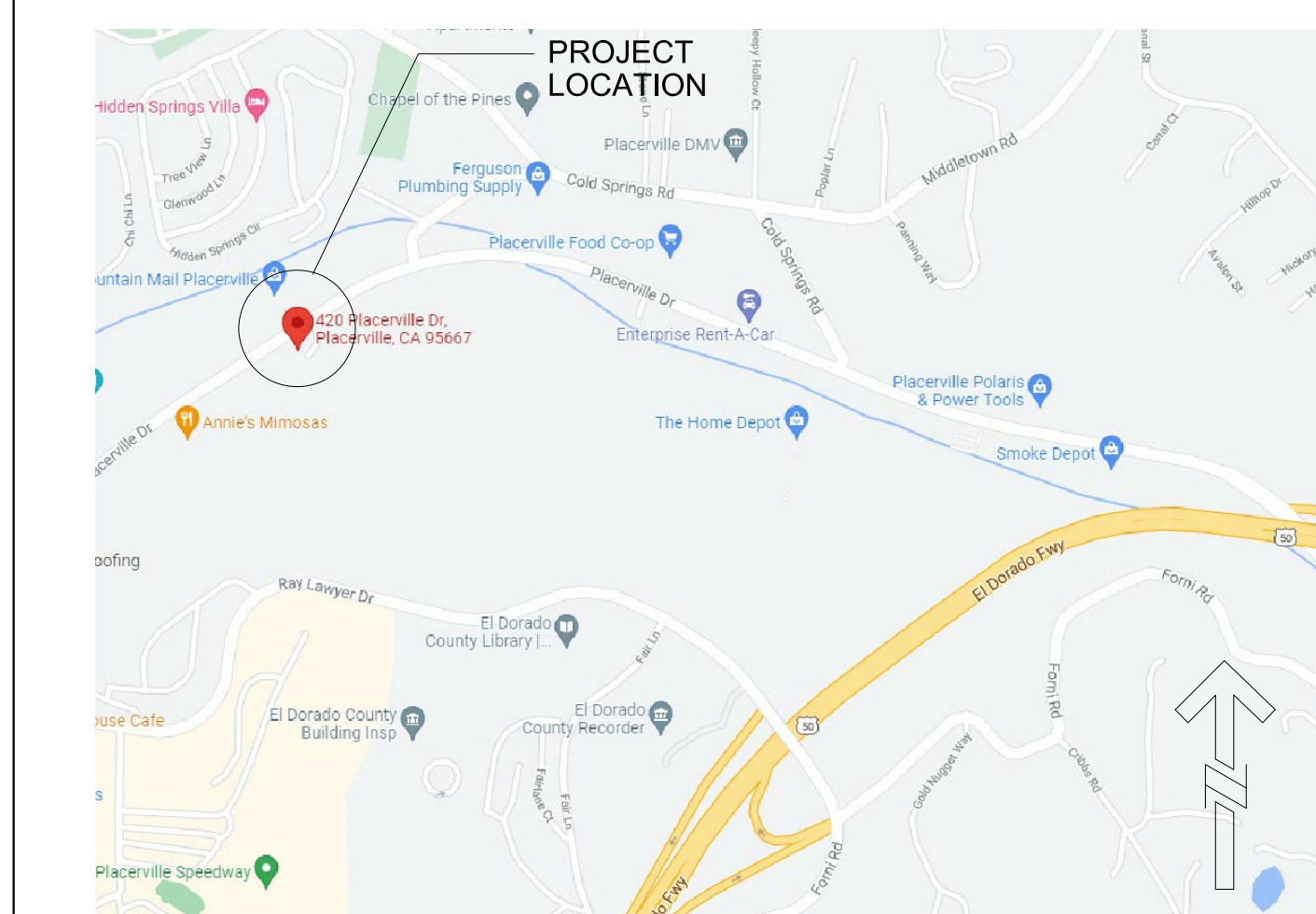
SCOPE OF WORK

DESIGN REVIEW APPLICATION FOR UPDATING EXISTING COMMERCIAL BUILDING UNDER BUILDING PERMIT NO. 21753. PROPOSED SCOPE INCLUDES:

- UPDATING EXISTING BUILDING EXTERIOR, INCLUDING REBUILDING OF FRONT PORCH & STOOP FOR EACH TENANT SPACE AND INSTALLATION OF METAL AWNING OVER EACH FRONT DOOR;
- UPDATING AND PAVING OF EXISTING PARKING LOT AT REAR OF EXISTING BUILDING AS WELL AS INSTALLATION OF PARKING LOT LIGHTING; AND
- INSTALLATION OF 5 NEW WALL SIGNS TO BE USED BY EXISTING AND FUTURE TENANTS OF BUILDING.

(E) COMMERCIAL BUILDING AT 428 PLACERVILLE DRIVE IS TO BE VACATED AND REMAIN UNOCCUPIED UNTIL FUTURE T.J. TAKES PLACE (NOT PART OF SCOPE OF WORK).

VICINITY MAP



Owner
John Williams

Revisions	By	Date

Designed	AS
Drawn	AS
Date	05/24
Title Cover Sheet	
Sheet	

T1



3D View $\frac{B}{T2}$ - No Scale
 West Corner - Night / Day



3D View $\frac{A}{T2}$ - No Scale
 North (Front) Elevation - Day / Night



3D View $\frac{C}{T2}$ - No Scale
 North (Front) Elevation - Night



3D View $\frac{D}{T2}$ - No Scale
 North (Front) Elevation - Day



3D View $\frac{E}{T2}$ - No Scale
 East Corner (Rear) - Day

**Design Review Application for
 420 Placerville Dr Commercial Bldg**
 416 - 426 Placerville Dr
 Placerville, CA 95667

Owner
 John Williams

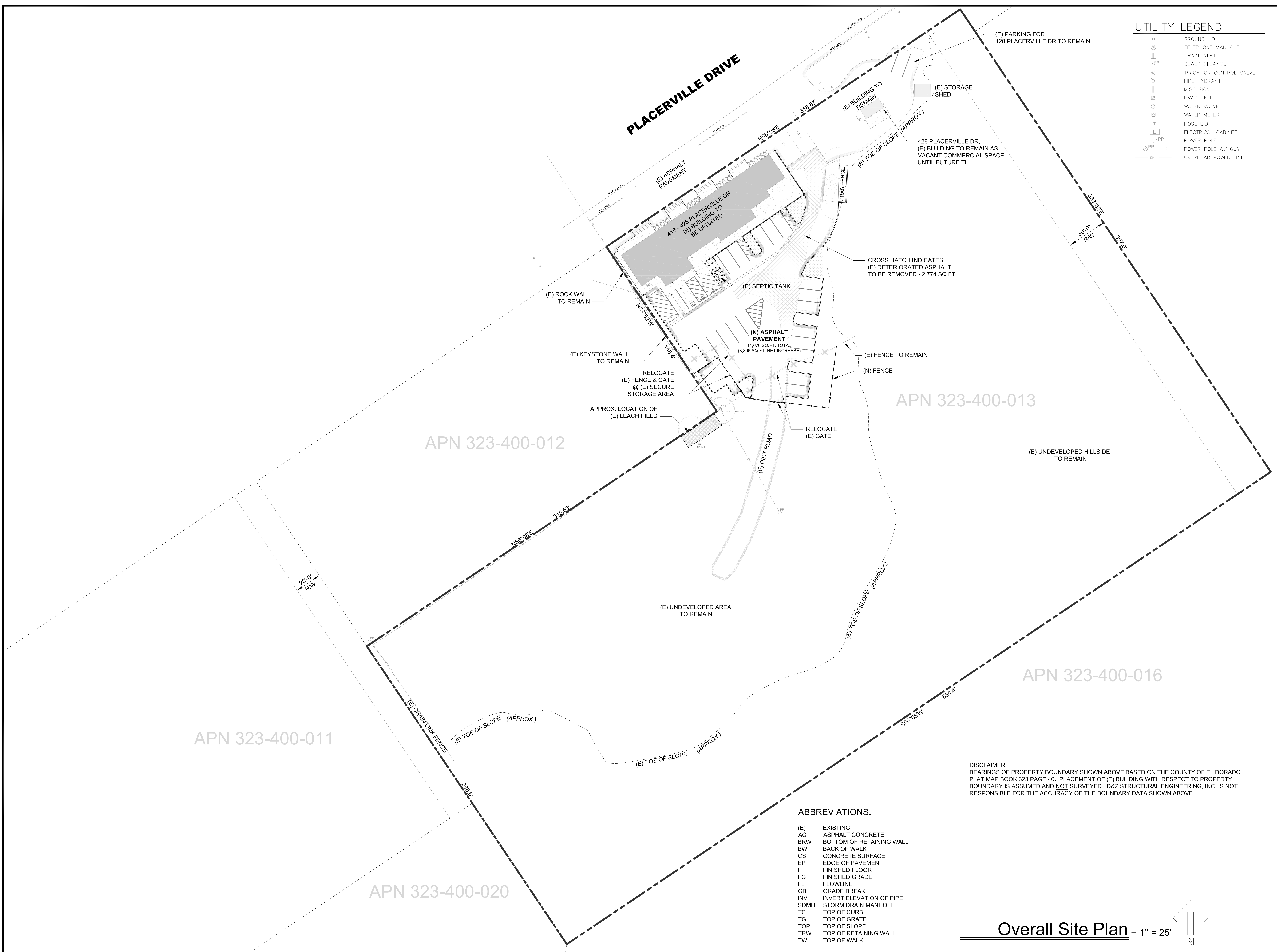
Revisions	By	Date	Description

Designed AS
 Drawn AS
 Date 05/24
 3D Renderings

Sheet
T2

UTILITY LEGEND

- GROUND LID
- ⊙ TELEPHONE MANHOLE
- ⊙ DRAIN INLET
- ⊙ SEWER CLEANOUT
- ⊙ IRRIGATION CONTROL VALVE
- ⊙ FIRE HYDRANT
- ⊙ MISC SIGN
- ⊙ HVAC UNIT
- ⊙ WATER VALVE
- ⊙ WATER METER
- ⊙ HOSE BIB
- ⊙ ELECTRICAL CABINET
- ⊙ POWER POLE
- ⊙ POWER POLE W/ GUY
- OVERHEAD POWER LINE



APN 323-400-012

APN 323-400-011

APN 323-400-020

APN 323-400-013

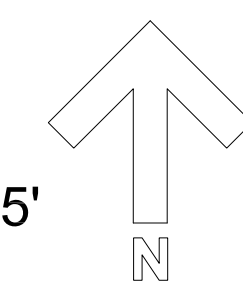
APN 323-400-016

ABBREVIATIONS:

- (E) EXISTING
- AC ASPHALT CONCRETE
- BRW BOTTOM OF RETAINING WALL
- BW BACK OF WALK
- CS CONCRETE SURFACE
- EP EDGE OF PAVEMENT
- FF FINISHED FLOOR
- FG FINISHED GRADE
- FL FLOWLINE
- GB GRADE BREAK
- INV INVERT ELEVATION OF PIPE
- SDMH STORM DRAIN MANHOLE
- TC TOP OF CURB
- TG TOP OF GRATE
- TOP TOP OF SLOPE
- TRW TOP OF RETAINING WALL
- TW TOP OF WALK

DISCLAIMER:
 BEARINGS OF PROPERTY BOUNDARY SHOWN ABOVE BASED ON THE COUNTY OF EL DORADO PLAT MAP BOOK 323 PAGE 40. PLACEMENT OF (E) BUILDING WITH RESPECT TO PROPERTY BOUNDARY IS ASSUMED AND NOT SURVEYED. D&Z STRUCTURAL ENGINEERING, INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF THE BOUNDARY DATA SHOWN ABOVE.

Overall Site Plan - 1" = 25'



**Design Review Application for
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 416 - 426 Placerville Dr
 Placerville, CA 95667

Owner
 John Williams

Revisions	By	Date	Description

Designed AS

Drawn AS

Date 05/24

Overall Site Plan

Sheet

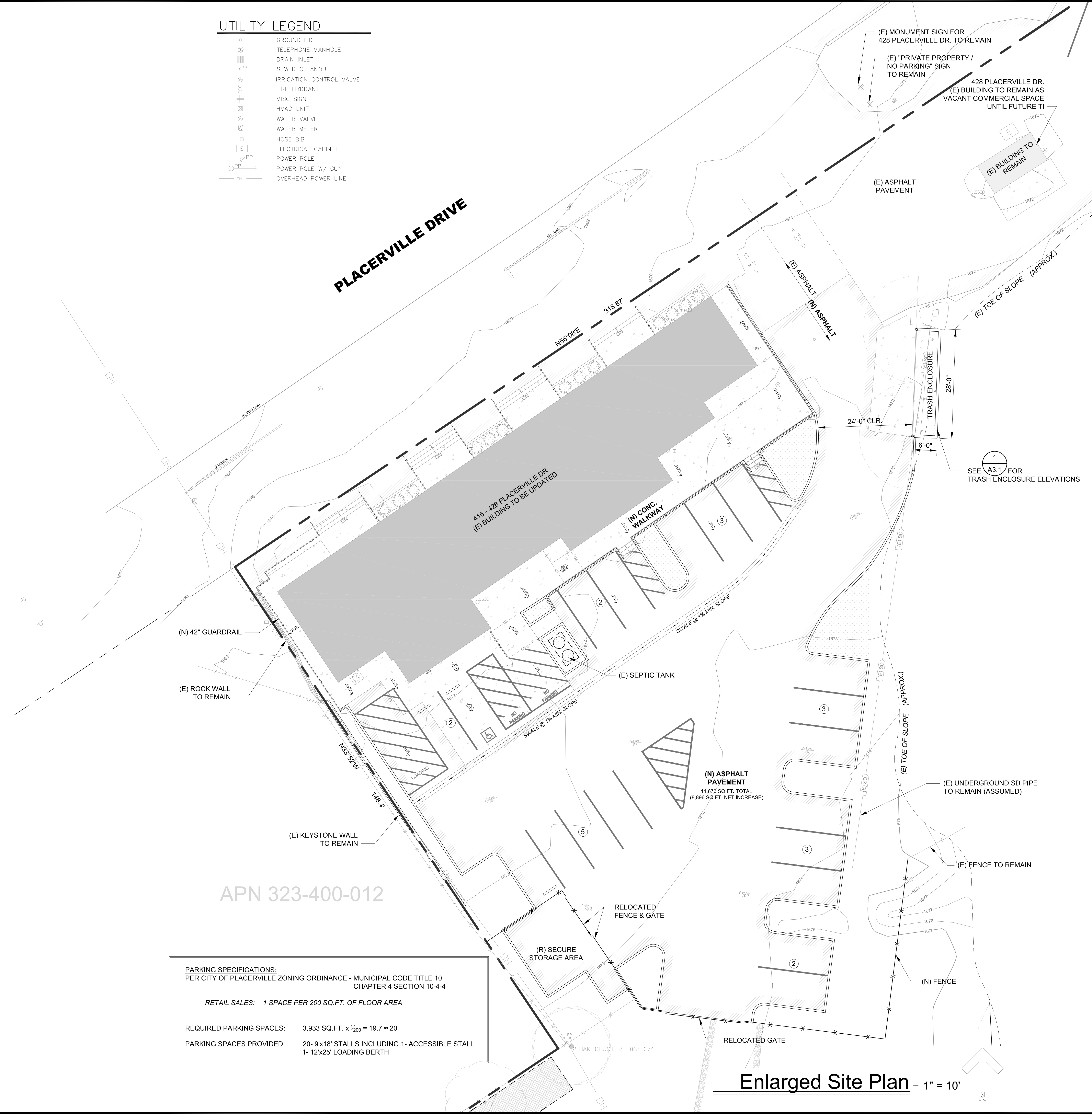
C1

**Design Review Application for
 420 Placerville Dr Commercial Bldg**
 416 - 426 Placerville Dr
 Placerville, CA 95667

Owner
 John Williams

Revisions	Sym	Description	Date	By

Designed AS
 Drawn AS
 Date 05/24
 Enlarged Site Plan
 Sheet



UTILITY LEGEND

	GROUND LID
	TELEPHONE MANHOLE
	DRAIN INLET
	SEWER CLEANOUT
	IRRIGATION CONTROL VALVE
	FIRE HYDRANT
	MISC SIGN
	HVAC UNIT
	WATER VALVE
	WATER METER
	HOSE BIB
	ELECTRICAL CABINET
	POWER POLE
	POWER POLE W/ GUY
	OVERHEAD POWER LINE

PARKING SPECIFICATIONS:
 PER CITY OF PLACERVILLE ZONING ORDINANCE - MUNICIPAL CODE TITLE 10
 CHAPTER 4 SECTION 10-4-4

RETAIL SALES: 1 SPACE PER 200 SQ.FT. OF FLOOR AREA

REQUIRED PARKING SPACES: 3,933 SQ.FT. x 1/200 = 19.7 ≈ 20

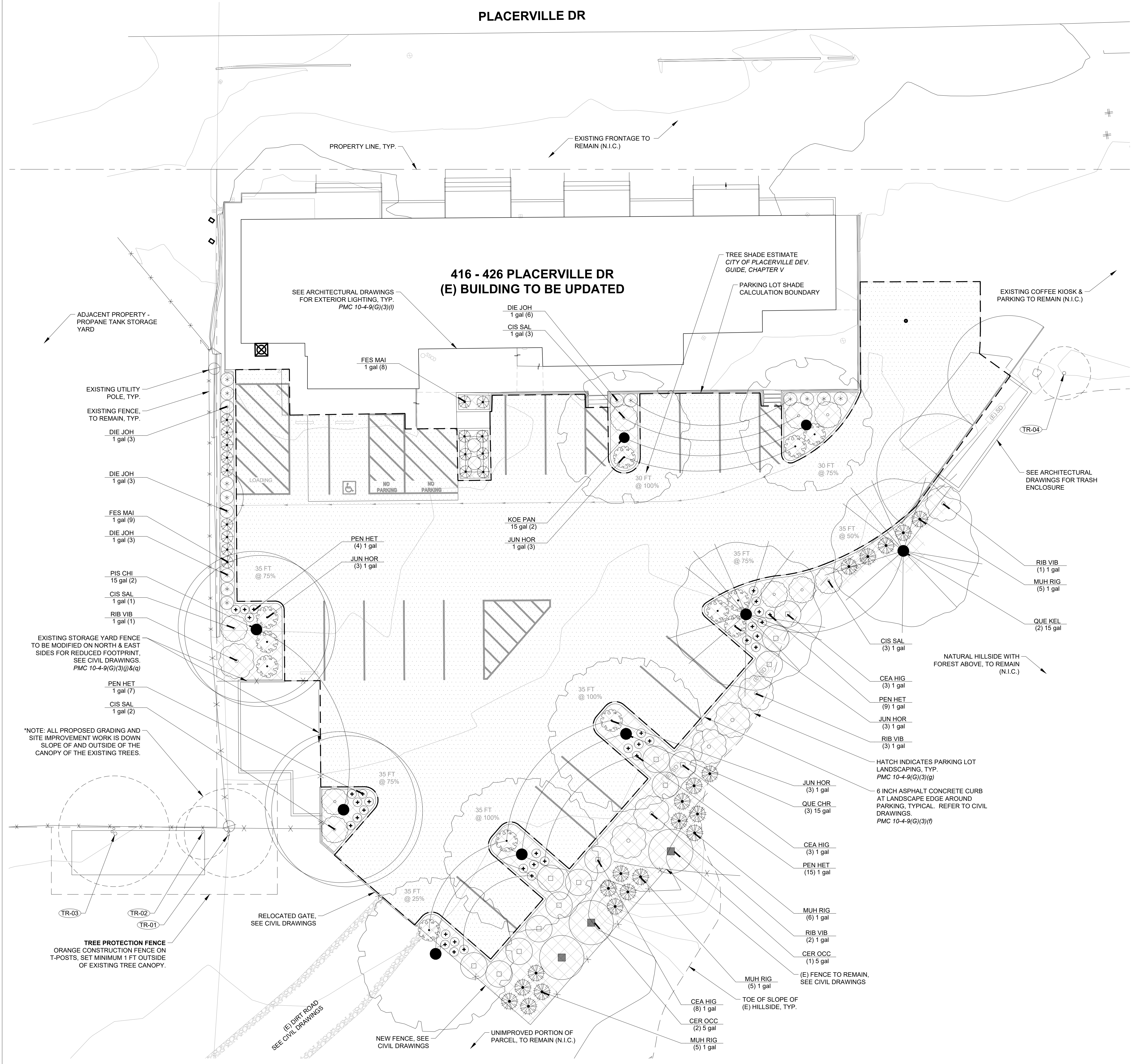
PARKING SPACES PROVIDED: 20- 9'x18' STALLS INCLUDING 1- ACCESSIBLE STALL
 1- 12'x25' LOADING BERTH

APN 323-400-012

Enlarged Site Plan - 1" = 10'

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	QTY	REMARKS
TREES					
	KOE PAN	KOELREUTERIA PANICULATA / GOLDENRAIN TREE	15 GAL	2	M (WUCOLS)
	PIS CHI	PISTACIA CHINENSIS 'RED PUSH' / RED PUSH CHINESE PISTACHE	15 GAL	2	L (WUCOLS)
	QUE CHR	QUERCUS CHRYSOLEPIS / MAUL OR GOLDENCUP OAK, CANYON LIVE	15 GAL	3	L (WUCOLS)
	QUE KEL	QUERCUS KELLOGGII / CALIFORNIA BLACK OAK	15 GAL	2	M (WUCOLS)
SHRUBS					
	CEA HIG	CEANOTHUS GRISEUS 'HIGHLIGHTS' / HIGHLIGHTS CALIFORNIA LILAC	1 GAL	14	L (WUCOLS)
	CER OCC	CERCIS OCCIDENTALIS / WESTERN REDBUD	5 GAL	3	VL (WUCOLS)
	CIS SAL	CISTUS SALVIIFOLIUS 'PROSTRATUS' / SAGELEAF ROCKROSE	1 GAL	9	L (WUCOLS)
	DIE JOH	DIETES GRANDIFLORA 'JOHN'S RUNNER' / JOHN'S RUNNER FORTNIGHT LILY	1 GAL	15	L (WUCOLS)
	FES MAI	FESTUCA MAIREI / ATLAS FESCUE	1 GAL	17	L (WUCOLS)
	JUN HOR	JUNIPERUS HORIZONTALIS / CREEPING JUNIPER	1 GAL	12	L (WUCOLS)
	MUH RIG	MUHLENBERGIA RIGENS / DEER GRASS	1 GAL	21	L (WUCOLS)
	PEN HET	PENSTEMON HETEROPHYLLUS / FOOHILL PENSTEMON	1 GAL	33	L (WUCOLS)
	RIB VIB	RIBES VIBURNIFOLIUM / CATALINA EVERGREEN CURRANT	1 GAL	7	L (WUCOLS)



PARKING LOT SHADE CALCULATION (PMC 10-4-9(G)(3)(g))

SHADE SIZE CATEGORY	100% SHADE	75% SHADE	50% SHADE	25% SHADE	SUBTOTAL
BOTANICAL NAME / COMMON NAME	# (SIZE) SQFT	# (SIZE) SQFT	# (SIZE) SQFT	# (SIZE) SQFT	(SQFT)
35' CANOPY SHADE TREES	2 (F) 962	3 (TQ) 722	1 (H) 481	1 (Q) 240	4,811
PISTACIA CHINENSIS 'RED PUSH' / RED PUSH CHINESE PISTACHE					
QUERCUS CHRYSOLEPIS / CANYON LIVE OAK					
QUERCUS KELLOGGII / CALIFORNIA BLACK OAK					
30' CANOPY SHADE TREES	1 (F) 706	1 (TQ) 530	0 (H) 354	0 (Q) 177	1,236
KOELREUTERIA PANICULATA / GOLDENRAIN TREE					
PARKING LOT AREA:	12,085 SQFT	TOTAL TREE SHADE (SQFT)		6,047	
				TOTAL SHADE PROVIDED (%)	50%

INVENTORY OF EXISTING ONSITE TREES

REFER TO THE CITY OF PLACERVILLE MUNICIPAL CODE, TITLE 8, CHAPTER 13 (8-13) FOR TREE PROTECTION REQUIREMENTS DURING CONSTRUCTION AND FOR TREE PERMIT REQUIREMENTS FOR ANY CURRENT OR FUTURE WORK ON OR UNDER PROTECTED TREES. REFER ALSO TO CHAPTER X OF THE CITY OF PLACERVILLE DEVELOPMENT GUIDE.

* NOTE: THE CURRENT PROJECT IS EXEMPT FROM THE REQUIREMENTS FOR A WOODLAND ALTERATION PERMIT AND PLAN (8-13-4) BASED ON EXEMPTION 8-13-6 (B) - IMPACTS (IF ANY) ARE LIMITED TO 10 TREES OR FEWER.

TR#	SCIENTIFIC NAME	COMMON NAME	DSH (INCHES)	CNPY RADIUS (FT)
TR-01	QUERCUS DOUGLASSII	BLUE OAK	7 + 7	10
TR-02	QUERCUS DOUGLASSII	BLUE OAK	5	6
TR-03	QUERCUS KELLOGGII	CALIFORNIA BLACK OAK	9 + 6 + 6	12
TR-04	SALIX SPP	WILLOW	9	6

LANDSCAPE GENERAL REQUIREMENTS

CITY OF PLACERVILLE MUNICIPAL CODE (PMC)

PMC 10-4-9(G)(3)(g) PARKING AREAS

1) AT A MINIMUM, 20% OF ALL PARKING AREAS SHALL BE LANDSCAPED WITH SHRUBS & GROUNDCOVERS

PARKING LOT AREA (P) 12,085 SQFT

MINIMUM LANDSCAPE AREA REQ'D. (L) $L = ((P / 0.8) - P) = 3,022$ SQFT

PARKING LOT LANDSCAPING PROVIDED 3,153 SQFT (21%)

2) AT LEAST 50% OF THE TOTAL PAVING AREA SHALL BE SHADED

*REFER TO THE PARKING LOT SHADE CALCULATIONS PROVIDED, THIS SHEET

CITY OF PLACERVILLE DEVELOPMENT GUIDE (PDG)

PDG VI(A)(3) - TREE ROOT DEFLECTORS

ROOT DEFLECTORS REQUIRED FOR ALL TREES PLANTED WITHIN 5 FT OF HARDSCAPE

PDG VI(A)(5) - NATIVE PLANTS

A MINIMUM OF 35% OF THE TOTAL QUANTITY OF TREES & SHRUBS SELECTED SHALL BE NATIVE, AS PER APPENDIX A

NATIVE TREES 5 / 9 = 54%

NATIVE SHRUBS 94 / 133 = 70%

*NOTE: NOT ALL NATIVE SPECIES INCLUDED IN THE DESIGN ARE IDENTIFIED AS NATIVE IN PDG VI - APPENDIX A

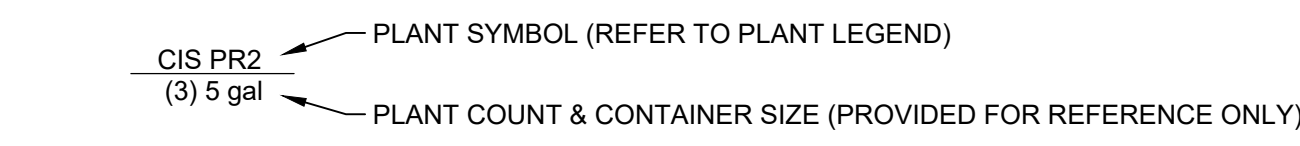
LANDSCAPE SUMMARY

TOTAL LANDSCAPE AREA	3,153 SQFT
MAWA	50,107 GAL / YR
ETWU	43,124 GAL / YR
ETAF (AVERAGE)	0.39

ADDITIONAL INFORMATION

BUILDING, LIGHTING, SCREENING - SEE ARCH DWGS
SITE IMPROVEMENTS & GRADING - SEE CIVIL DWGS
WELO INFORMATION - SEE SHEET L2.0
PLANTING NOTES - SEE SHEET L2.0

PLANTING NOTES

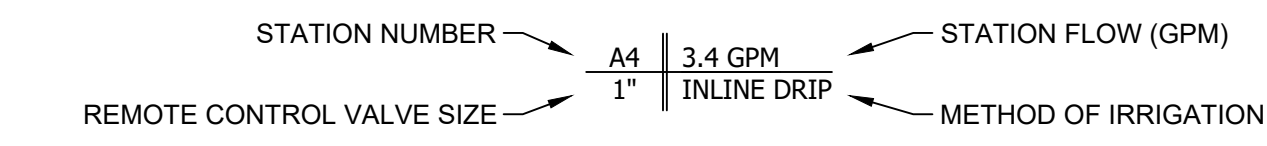


- CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE WITH APPLICABLE TRADES FOR THE EFFICIENT INSTALLATION OF THE LANDSCAPE SCOPE OF WORK.
- ROUGH GRADES SHALL BE ESTABLISHED TO WITHIN 1/4" OF FINISH GRADES PRIOR TO AMENDING OF SOIL OR INSTALLATION OF IRRIGATION.
- CONTRACTOR SHALL OBTAIN A SOILS FERTILITY ANALYSIS FOLLOWING COMPLETION OF ROUGH GRADING AND SHALL AMEND ALL PLANTING AREAS PER THE RECOMMENDATIONS OF THE SOILS FERTILITY REPORT. THE SOIL ANALYSIS SHALL INCLUDE (AT A MINIMUM): SOIL TEXTURE, INFILTRATION RATE (LAB TEST OR TABLE), pH, TOTAL SOLUBLE SALTS, SODIUM, PERCENT ORGANIC MATTER, AND FERTILIZER / AMENDMENT RECOMMENDATIONS. THE SOILS FERTILITY ANALYSIS SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND RECOMMENDATIONS. REFER TO REQUIREMENTS AND SAMPLING GUIDELINES PROVIDED BY SUNLAND ANALYTICAL FOR THE LTP.4 TEST. [HTTPS://SUNLAND-ANALYTICAL.COM](https://sunland-analytical.com) (916) 852-8557 (SEE NOTE #12)
- ALL PLANTS SHALL MEET THE REQUIREMENTS OF ANSI Z60.1-2004 AMERICAN STANDARD FOR NURSERY STOCK.
- ALL PLANTS DELIVERED TO THE SITE SHALL BE LABELED WITH THE GENUS, SPECIES, AND CULTIVAR (IF APPLICABLE). AT A MINIMUM, ONE PLANT OF EACH TYPE SHALL BE LABELED. WHERE SIMILAR PLANTS OR SIMILAR SPECIES WITHIN A SINGLE GENUS ARE TO BE PLANTED, EACH OF THESE PLANTS SHALL BE CLEARLY MARKED.
- PLANTING PITS SHALL BE FLOODED AND ALLOWED TO DRAIN, AND CONTAINER STOCK IMMersed AND ALLOWED TO DRAIN, PRIOR TO PLANTING. ALL PLANTS AND THEIR SURROUNDING PLANTING AREA SHALL BE HAND WATERED IMMEDIATELY AFTER PLANTING TO SET CONTACT BETWEEN THE CONTAINER PLANTING MEDIA AND THE SURROUNDING BACKFILL MIX. CONTINUE TO MONITOR PLANTS DURING THE CONSTRUCTION MAINTENANCE PERIOD (60-90 DAYS TYPICAL, TBD PER CONTRACT). APPLY SUPPLEMENTAL (HAND WATERING) AS NEEDED TO PROMOTE HEALTHY ESTABLISHMENT.
- DURING THE CONSTRUCTION MAINTENANCE PERIOD THE CONTRACTOR SHALL REPLACE ANY PLANTS FOUND TO BE MISSING, DEAD, OR FAILING. IN THE EVENT OF A DISAGREEMENT ON THE STATUS OF A PLANT, THE LANDSCAPE ARCHITECT SHALL MAKE THE FINAL DETERMINATION OF WHETHER THE PLANT NEEDS TO BE REPLACED.
- ALL SHRUB & GROUNDCOVER PLANTING AREAS SHALL RECEIVE A 4" NOMINAL (3" MINIMUM) LAYER OF GROUND WOOD MULCH (WALK-ON OR EQUIVALENT) ABOVE FINISH GRADE. FEATHER EDGES FOR BARK RETENTION INSIDE PLANTER CURBS. FIBROUS & SHREDDED MULCHES ARE PROHIBITED.
- IF SOILS WITHIN ANY PLANTING AREAS ARE FOUND TO HAVE BEEN LIME TREATED THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT IN WRITING AND IDENTIFY THE AFFECTED AREAS. DO NOT PROCEED WITH WORK IN LIME TREATED SOIL. LIME TREATED SOILS MUST BE REMOVED AND REPLACED WITH IMPORT SOIL OF SUITABLE CHEMISTRY AND COMPATIBLE TEXTURE. CONTRACTOR SHALL NOT PROCEED WITH ANY WORK IN LIME TREATED AREAS UNTIL A RESOLUTION IS PROVIDED IN WRITING.

CITY OF PLACERVILLE NOTES

- WHERE TREES ARE PLACED WITHIN FIVE (5) FEET OF ANY WALL OR PAVED SURFACE, ROOT DEFLECTORS MUST BE PROVIDED. *PDG VI (A) (3)*
- SHRUBBERY OR TREES SHALL NOT BE PLACED WITHIN FIVE (5) FEET OF ANY FIRE HYDRANT. *PDG VI (I) (2)*
- A LANDSCAPE MAINTENANCE PROGRAM SHOULD BE ESTABLISHED TO REMOVE ANY DEAD WOOD, DRIED LEAVES AND OTHER COMBUSTIBLE MATERIALS WITHIN ONE HUNDRED (100) FEET OF ANY STRUCTURE OR WITHIN THIRTY (30) FEET OF ANY PARKING AREA. *PDG VI (J) (2)*

IRRIGATION NOTES



- IRRIGATION PLAN IS DIAGRAMMATIC. ALL PIPING AND EQUIPMENT SHOWN IN HARDSCAPE AREAS SHALL BE INSTALLED IN PLANTING AREAS WHEREVER POSSIBLE.
- CONTRACTOR SHALL COORDINATE IRRIGATION EQUIPMENT LOCATIONS AND ROUTING WITH APPLICABLE TRADES, AND SHALL INSTALL ALL NECESSARY PIPE SLEEVES AND CONDUITS IN CONJUNCTION WITH THE INSTALLATION OF HARDSCAPE FEATURES SUCH AS SIDEWALKS, CURBS, PAVERS AND PAVING. NO TUNNELING UNDER, BORING UNDER, OR SAWCUTTING OF NEW HARDSCAPE FEATURES WILL BE PERMITTED UNLESS AUTHORIZED IN WRITING BY THE OWNERS REPRESENTATIVE.
- WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES, OR OTHER CONDITIONS EXIST THAT WERE NOT ACCOUNTED FOR IN THE IRRIGATION SYSTEM DESIGN, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT IN WRITING OF SAID CONDITIONS FOR DISCUSSION AND RESOLUTION. IF CHANGES ARE MADE WITHOUT THE ABOVE NOTED NOTIFICATION AND DISCUSSION, CONTRACTOR ASSUMES ALL LIABILITY WITH REGARD TO ANY FURTHER CHANGES NECESSARY TO ACHIEVE THE DESIGN INTENT AND SYSTEM OPERABILITY.
- CONTRACTOR SHALL PROVIDE A COMPLETE AND OPERATIONAL IRRIGATION SYSTEM MEETING THE DESIGN INTENT OF THE IRRIGATION SYSTEM DESIGN AS OUTLINED IN THESE DRAWINGS, INCLUDING ALL PIPES, FITTINGS, WIRE CONNECTIONS AND OTHER ELEMENTS THAT MAY OR MAY NOT BE INDICATED ON THE PLANS.
- THE IRRIGATION SYSTEM DESIGN, INCLUDING THE LAYOUT, DETAILS, CALCULATIONS, AND SCHEDULING, IS BASED UPON SPECIFIC CHARACTERISTICS OF THE EQUIPMENT SPECIFIED IN THE IRRIGATION LEGEND. CONTRACTOR SHALL SUBMIT ANY PROPOSED SUBSTITUTIONS FOR REVIEW BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR SHALL BE ADVISED, PART 2 OF THE CERTIFICATE OF COMPLIANCE REQUIRES PERIODIC FIELD OBSERVATIONS AND WRITTEN DOCUMENTATION THAT THE IRRIGATION SYSTEM HAS BEEN INSTALLED PER THE APPROVED DRAWINGS. THE CONDITIONS OF NOTE #7 MUST BE MET FOR THE LANDSCAPE ARCHITECT TO PROVIDE THIS VERIFICATION.
- CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT A MINIMUM OF 72 HOURS IN ADVANCE TO SCHEDULE THE FOLLOWING MEETINGS AND FIELD VISITS:
 - PRE-CONSTRUCTION MEETING
 - MAINLINE PRESSURE TEST
 - REVIEW OF LATERAL PIPING IN TRENCHES PRIOR TO BACKFILLING
 - PUNCH-LIST IRRIGATION SITE REVIEW AND WELV VERIFICATION PRIOR TO COVERAGE OF ON-SURFACE IRRIGATION ELEMENTS
 *NOTE: INCLUDES VERIFICATION OF CONTROLLER PROGRAMMING AND OPERATIONAL AUTOMATIC ET-BASED SCHEDULING
- CITY OF PLACERVILLE NOTES**
 - ALL LANDSCAPE IRRIGATION AUDITS SHALL BE CONDUCTED BY A CITY LANDSCAPE IRRIGATION AUDITOR OR A THIRD PARTY CERTIFIED LANDSCAPE IRRIGATION AUDITOR. LANDSCAPE AUDITS SHALL NOT BE CONDUCTED BY THE PERSON WHO DESIGNED THE LANDSCAPE OR INSTALLED THE LANDSCAPE. *PMC 10-6-10 (A)*
 - THE PROJECT APPLICANT SHALL SUBMIT AN IRRIGATION AUDIT REPORT WITH THE CERTIFICATE OF COMPLETION TO THE CITY THAT MAY INCLUDE, BUT IS NOT LIMITED TO: INSPECTION, SYSTEM TUNE UP, SYSTEM TEST WITH DISTRIBUTION UNIFORMITY, REPORTING OVERSPRAY OR RUNOFF THAT CAUSES OVERLAND FLOW, AND PREPARATION OF AN IRRIGATION SCHEDULE, INCLUDING CONFIGURING IRRIGATION CONTROLLERS WITH APPLICATION RATE, SOIL TYPES, PLANT FACTORS, SLOPE, EXPOSURE AND ANY OTHER FACTORS NECESSARY FOR ACCURATE PROGRAMMING. *PMC 10-6-10 (C)(1)*
 - ALL IRRIGATION SYSTEMS SHALL BE DESIGNED TO ALLOW A COMPLETE WATERING CYCLE WITHIN AN EIGHT (8) HOUR PERIOD. WATERING CYCLES SHALL BE COMPLETED BETWEEN THE HOURS OF 10 P.M. AND 6 A.M. *PDG VI (I) (2)*

WATER EFFICIENT LANDSCAPE INFORMATION

PROJECT NAME: 420 PLACERVILLE DR. COMMERCIAL BLDG.
 PROJECT ADDRESS: 416 - 426 PLACERVILLE DR., PLACERVILLE, CA 95667
 TOTAL LANDSCAPE AREA: 3,153 SQFT
 PROJECT TYPE: NEW CONSTRUCTION (PARKING LOT)
 WATER SUPPLY TYPE / SOURCE: POTABLE / EL DORADO IRRIGATION DISTRICT (E.I.D.)

APPLICANT: LOFTGARDENS LANDSCAPE ARCHITECTURE
 3810 BROADWAY
 SACRAMENTO, CA 95817
 CONTACT: ED CHANDLER
 (916) 905-1442

OWNER: JOHN WILLIAMS
 420 PLACERVILLE DR.
 PLACERVILLE, CA 95667
 CONTACT: JOHN WILLIAMS
 (916) 789-9775

- LANDSCAPE DOCUMENTATION PACKAGE CHECKLIST:
- 1. PROJECT INFORMATION SHEET (THIS SHEET)
 - 2. WATER EFFICIENT LANDSCAPE INFORMATION & CALCULATIONS (THIS SHEET)
 - 3. SOIL MANAGEMENT REPORT (CONSTRUCTION - SEE PLANTING NOTES, THIS SHEET)
 - 4. LANDSCAPE DESIGN PLAN (SEE L1.1)
 - 5. IRRIGATION DESIGN PLAN (SEE L2.1)
 - 6. GRADING DESIGN PLAN (SEE CIVIL DRAWINGS C1 & C2)

"I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE REGULATIONS AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE."

Edmund H. Chandler
 APPLICANT SIGNATURE DATE: 05/03/2024

WATER EFFICIENT LANDSCAPE WORKSHEET

REFERENCE	EVAPOTRANSPIRATION (ET ₀):	56.96" / YEAR - PLACERVILLE (PMC 10-6-18(A))					
HYDZ	PF	IRR TYPE	IE	ETAF (PF/IE)	LA	ETAF X LA	ETWU
REGULAR LANDSCAPE AREAS							
B1 PKNG SHRUB W	0.2	DRIP/LINE	0.81	0.25	540	133	4,709
B2 PKNG TREES S	0.1*	BUBBLERS	0.81	0.12	1,092*	135	4,761
B3 PKNG SHRUB E	0.2	DRIP/LINE	0.81	0.25	1,708	422	14,893
B4 PKNG TREES N	0.3*	BUBBLERS	0.81	0.37	831*	308	10,869
B5 PKNG SHRUB N	0.2	DRIP/LINE	0.81	0.25	905	223	7,891
TOTALS:					3,153	1,221	43,124
SPECIAL LANDSCAPE AREAS							
					1.0	0	0
TOTALS:							
TOTAL LA + SLA:					3,153	ETWU:	43,124
MAXIMUM APPLIED WATER ALLOWANCE (MAWA):							50,107
MAX. AVERAGE ETAF RESIDENTIAL:					0.55	AVERAGE ETAF:	0.39
MAX. AVERAGE ETAF NON-RESIDENTIAL:					0.45	COMPLIES:	YES

* NOTE: THE TOTAL LANDSCAPE AREA (LA) FOR THE MAWA CALCULATION IS THE SUM OF HYDROZONES B1, B3, & B5. HYDROZONES B2 & B4 ARE OVERLAYS OF THE OTHER HYDROZONES TO ACCOUNT FOR SUPPLEMENTAL TREE-SPECIFIC DEEP WATERING USING ROOT ZONE WATERING SYSTEM (RZWS) TUBES.

IRRIGATION POINT OF CONNECTION NOTES

- EXISTING SERVICE & METER:**
1" COPPER TUBING SERVICE LINE FROM PLACERVILLE DR TO 3/4" SENSUS SR II METER AT THE EAST CORNER OF THE EXISTING BUILDING. PER E.I.D. STD DWGS W08 & W20
- IRRIGATION POINT OF CONNECTION:** TIE IN TO THE EXISTING 1 1/4" SCH. 40 PVC DOMESTIC WATER LINE NEAR THE EXISTING HOSE BIB ADJACENT TO THE UTILITY POLE NEAR THE SOUTHEAST CORNER OF THE BUILDING. LINE SIZE STEPS DOWN TO 1" FOR THE HOSE BIB. DIG BACK TO CONNECT TO THE 1 1/4" LINE, AND REPAIR ALL EXISTING CONNECTIONS AS NEEDED BACK TO ORIGINAL CONDITIONS ONCE THE CONNECTION HAS BEEN MADE. INCLUDE A MANUAL SHUT-OFF VALVE IMMEDIATELY DOWNSTREAM OF THE IRRIGATION POINT OF CONNECTION. *PMC 10-6-6 (A)(1)(e)*
- CROSS-CONNECTION CONTROL:** INSTALL A 3/4" WILKINS 975XL2 LEAD-FREE RP BACKFLOW IN THE EXISTING SERVICE YARD SOUTH OF THE IRRIGATION POINT OF CONNECTION. INSTALL A 1" BRASS / LEAD-FREE BRONZE BALL VALVE ON THE DOWNSTREAM LEG OF THE RP FOR MANUAL SHUT-OFF OF THE IRRIGATION SYSTEM.
- AUTOMATIC IRRIGATION CONTROL:** INSTALL A NEW AUTOMATIC IRRIGATION CONTROLLER ON AN INTERIOR WALL IN THE EXISTING ELECTRICAL ROOM (LOCATION TBD PER OWNER) NEAR THE SOUTHEAST CORNER OF THE BUILDING. REFER TO IRRIGATION LEGEND ON L2.1 FOR ELECTRICAL REQUIREMENTS. CONTROLLER TO USE HYDRAWISE SYSTEM FOR AUTOMATIC WEATHER-BASED ADJUSTMENT OF IRRIGATION RUNTIMES.
- ET-BASED IRRIGATION:** CONTROLLER TO USE HYDRAWISE SYSTEM FOR AUTOMATIC WEATHER-BASED ADJUSTMENT OF IRRIGATION RUNTIMES & SHUT-OFF FOR RAIN EVENTS.

IRRIGATION PRESSURE LOSS CALCULATIONS

CRITICAL LOSS ANALYSIS
 HIGHEST FLOW: B3
 LONGEST RUN: B5

IRRIGATION CONNECTION
 DESIGN PRESSURE: 40 PSI (E.I.D. GUARANTEED MIN. STATIC)
 ALLOWABLE FLOW: 15 GPM MAX. CONTINUOUS FLOW (E.I.D. 3/4 METER)
IRRIGATION SYSTEM DESIGN FLOW: 15 GPM MAX

HYDROZONES B3 (11 GPM) & B4 (4 GPM) OPERATING CONCURRENTLY = 15 GPM

ITEM	DESCRIPTION	QTY	UNIT	LOSS/UNIT	LOSS(GAIN)
WATER SERVICE	1" COPPER TUBE (EID W08 & W20)	10	LF	7.5 PSI/100LF	0.8
WATER METER	3/4" SENSUS SR II POSITIVE DISPLACEMENT			(CHART)	2.9
WATER LINE	1-1/4" SCH. 40 PVC	70	LF	1.35 PSI/100LF	0.9
IRR BACKFLOW	3/4" WILKINS 975XL2 RP			(CHART)	11.8
FLOW SENSOR	1 1/2" HUNTER HC FLOW METER			(CHART)	0.5
MAINLINE FILTER	DIG P75XXXDL 1 1/2" DISC FLTR W/ 17-042D 120 MESH			(CHART)	0.5
FERTIGATION	EZ-FLO EZKIT-1 W/ CBV-150	1	EA	-	-
MASTER VALVE	1-1/4" SUPERIOR 3200 N.C. NO MIN FLOW			(CHART)	0.5
IRR MAINLINE	1-1/2" SCH 40 PVC @ 15 GPM	65	LF	0.64 PSI/100LF	0.4
IRR MAINLINE	1-1/2" SCH 40 PVC @ 15 GPM	58	LF	0.64 PSI/100LF	0.4
IRR MAINLINE	1-1/2" SCH 40 PVC @ 15 GPM	100	LF	0.64 PSI/100LF	0.6
IRR MAINLINE	1-1/2" SCH 40 PVC @ 4 GPM	45	LF	0.12 PSI/100LF	0.1
BALL VALVES	LINE SIZE SCH 40 PVC			(ALLOW)	0.5
ELEVATION	0 TO 4 FT			FT. ELEV.	0.43/FT
RVCV	1" HUNTER ICV-101G	4		(TABLE)	3.0
LATERALS (HYDZ. B4)	1" SCH 40 PVC @ 4 GPM (MAX)	100 (MAX)	LF	(ALLOW)	0.4
EMISSION DEVICE	(B3) HUNTER HDL-06-12-CV, 15-70 PSI			SUBTOTAL LOSS:	25.0
EMISSION DEVICE	(B4) HUNTER RZWS-36-50-CV, 15-60 PSI			MINIMUM REQUIRED PSI:	15.0
				RESIDUAL PRESSURE:	0
				BOOSTER REQUIRED?:	NO

*FCOHR LIST, VER. 2024-04-01, PG. 602

LANDSCAPE & IRRIGATION MAINTENANCE (PMC 10-6-9 (B))

- LANDSCAPING SHALL BE MAINTAINED TO ENSURE WATER USE EFFICIENCY. A REGULAR MAINTENANCE SCHEDULE SHALL BE SUBMITTED WITH THE LANDSCAPE CERTIFICATE OF COMPLETION.
- A REGULAR MAINTENANCE SCHEDULE SHALL INCLUDE, BUT NOT BE LIMITED TO, ROUTINE INSPECTION; AUDITING; ADJUSTMENT AND REPAIR OF THE IRRIGATION SYSTEM AND ITS COMPONENTS; AERATING AND DE-THATCHING TURF AREAS; REPLISHING MULCH; FERTILIZING; PRUNING; WEEDING IN ALL LANDSCAPED AREAS, AND REMOVING ANY OBSTRUCTION TO EMISSION DEVICES. OPERATION OF THE IRRIGATION SYSTEM OUTSIDE THE NORMAL WATERING WINDOW IS ALLOWED FOR AUDITING AND SYSTEM MAINTENANCE.
- REPAIR OF ALL IRRIGATION EQUIPMENT SHALL BE DONE WITH THE ORIGINALLY INSTALLED COMPONENTS OR THEIR EQUIVALENTS OR WITH COMPONENTS WITH GREATER EFFICIENCY.
- A PROJECT APPLICANT IS ENCOURAGED TO IMPLEMENT ESTABLISHED LANDSCAPE INDUSTRY SUSTAINABLE BEST PRACTICES FOR ALL LANDSCAPE MAINTENANCE ACTIVITIES.

CERTIFICATE OF COMPLETION

PART 1: PROJECT INFORMATION SHEET

DATE	PROJECT NAME
NAME OF PROJECT APPLICANT	PHONE NO.
	FAX NO.
TITLE	EMAIL ADDRESS
COMPANY	STREET ADDRESS
CITY	STATE
	ZIP CODE

PROJECT ADDRESS AND LOCATION

STREET ADDRESS	PARCEL, TRACT OR LOT NUMBER, IF AVAILABLE.
CITY	LATITUDE/LONGITUDE (OPTIONAL)
STATE	ZIP CODE

PROPERTY OWNER OR DESIGNEE

NAME	TELEPHONE NO.
	FAX NO.
TITLE	EMAIL ADDRESS
COMPANY	STREET ADDRESS
CITY	STATE
	ZIP CODE

PROPERTY OWNER

"I/WE CERTIFY THAT I/WE HAVE RECEIVED COPIES OF ALL THE DOCUMENTS WITHIN THE LANDSCAPE DOCUMENTATION PACKAGE AND THE CERTIFICATE OF COMPLETION AND THAT IT IS OUR RESPONSIBILITY TO SEE THAT THE PROJECT IS MAINTAINED IN ACCORDANCE WITH THE LANDSCAPE AND IRRIGATION MAINTENANCE SCHEDULE."

- PROPERTY OWNER SIGNATURE _____ DATE _____
- DATE THE LANDSCAPE DOCUMENTATION PACKAGE WAS SUBMITTED TO THE CITY _____.
 - DATE THE LANDSCAPE DOCUMENTATION PACKAGE WAS APPROVED BY THE CITY _____.
 - DATE THAT A COPY OF THE WATER EFFICIENT LANDSCAPE WORKSHEET (INCLUDING THE WATER BUDGET CALCULATION) WAS SUBMITTED TO THE LOCAL WATER PURVEYOR _____.

PART 2: CERTIFICATION OF INSTALLATION ACCORDING TO THE LANDSCAPE DOCUMENTATION PACKAGE

"I/WE CERTIFY THAT BASED UPON PERIODIC SITE OBSERVATIONS, THE WORK HAS BEEN SUBSTANTIALLY COMPLETED IN ACCORDANCE WITH THE REGULATIONS AND THAT THE LANDSCAPE PLANTING AND IRRIGATION INSTALLATION CONFORM WITH THE CRITERIA AND SPECIFICATIONS OF THE APPROVED LANDSCAPE DOCUMENTATION PACKAGE."

SIGNATURE*	DATE
NAME (PRINT)	TELEPHONE NO.
	FAX NO.
TITLE	EMAIL ADDRESS
LICENSE NO. OR CERTIFICATION NO.	
COMPANY	STREET ADDRESS
CITY	STATE
	ZIP CODE

*SIGNER OF THE LANDSCAPE DESIGN PLAN, SIGNER OF THE IRRIGATION PLAN, OR A LICENSED LANDSCAPE CONTRACTOR.

PART 3: IRRIGATION SCHEDULING

ATTACH PARAMETERS FOR SETTING THE IRRIGATION SCHEDULE ON CONTROLLER PER REGULATIONS SECTION 10-6-8.

PART 4: SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE

ATTACH SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE PER REGULATIONS SECTION 10-6-8.

PART 5: LANDSCAPE IRRIGATION AUDIT REPORT

ATTACH LANDSCAPE IRRIGATION AUDIT REPORT PER REGULATIONS SECTION 10-6-9.

PART 6: SOIL MANAGEMENT REPORT

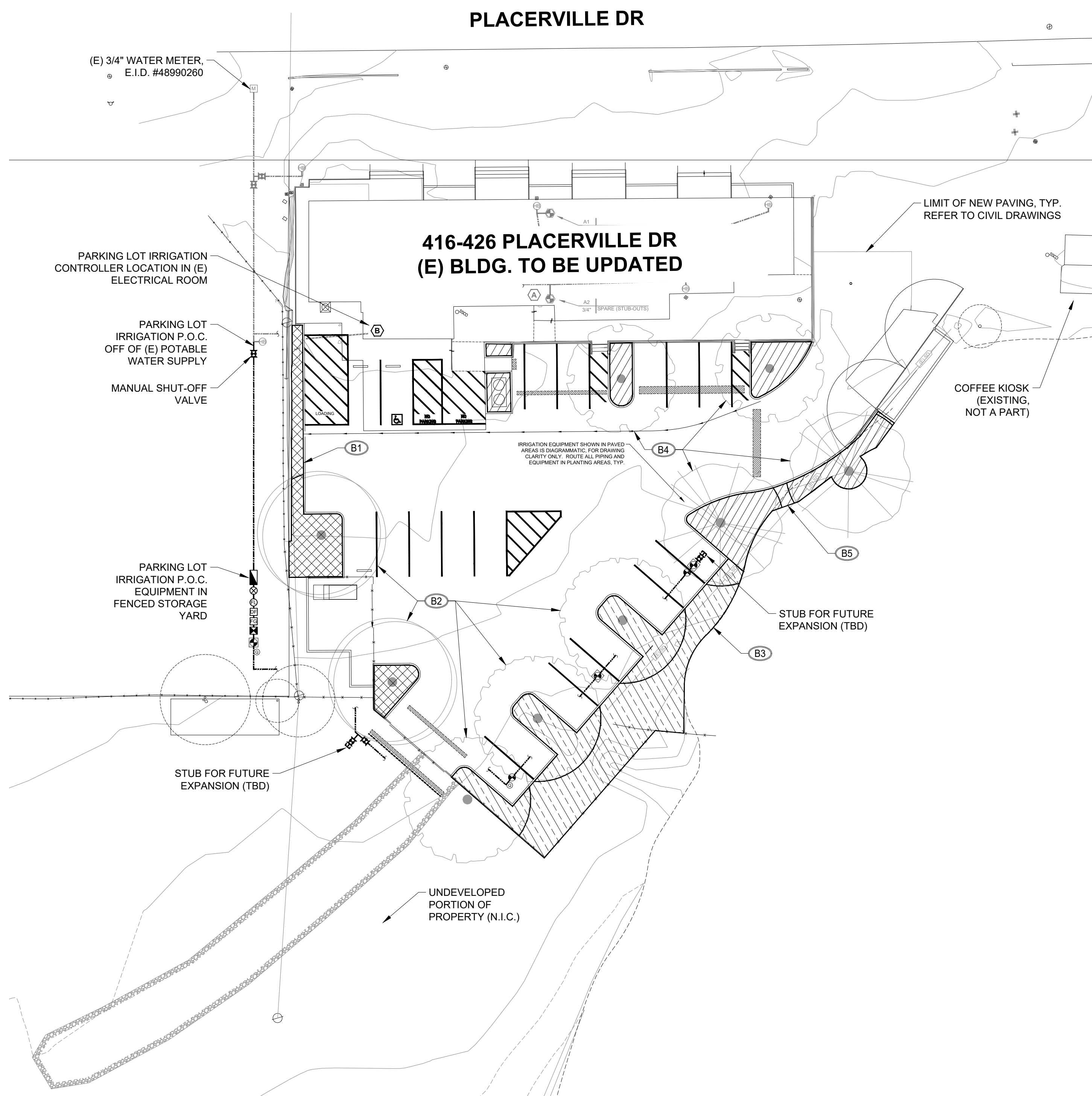
ATTACH SOIL ANALYSIS REPORT, IF NOT PREVIOUSLY SUBMITTED WITH THE LANDSCAPE DOCUMENTATION PACKAGE PER REGULATIONS SECTION 10-6-5.

ATTACH DOCUMENTATION VERIFYING IMPLEMENTATION OF RECOMMENDATIONS FROM SOIL ANALYSIS REPORT PER REGULATIONS SECTION 10-6-5.

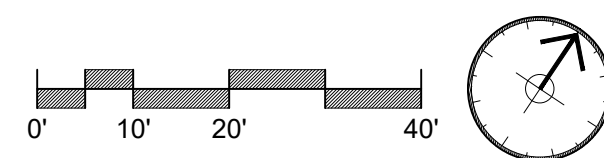
IRRIGATION SCHEDULING (PMC 10-6-9 (A))

FOR THE EFFICIENT USE OF WATER, ALL IRRIGATION SCHEDULES SHALL BE DEVELOPED, MANAGED AND EVALUATED TO UTILIZE THE MINIMUM AMOUNT OF WATER REQUIRED TO MAINTAIN PLANT HEALTH. IRRIGATION SCHEDULES SHALL MEET THE FOLLOWING CRITERIA:

- IRRIGATION SCHEDULING SHALL BE REGULATED BY AUTOMATIC IRRIGATION CONTROLLERS.
- OVERHEAD IRRIGATION SHALL BE SCHEDULED BETWEEN 8:00 P.M. AND 10:00 A.M. UNLESS WEATHER CONDITIONS PREVENT IT. OPERATION OF THE IRRIGATION SYSTEM OUTSIDE THE NORMAL WATERING WINDOW IS PERMITTED FOR AUDITING AND SYSTEM MAINTENANCE.
- FOR IMPLEMENTATION OF THE IRRIGATION SCHEDULE, PARTICULAR ATTENTION MUST BE PAID TO IRRIGATION RUNTIMES, EMISSION DEVICE, FLOW RATE, AND CURRENT REFERENCE EVAPOTRANSPIRATION, SO THAT APPLIED WATER MEETS THE ESTIMATED TOTAL WATER USE. TOTAL ANNUAL APPLIED WATER SHALL BE LESS THAN OR EQUAL TO THE MAXIMUM APPLIED WATER ALLOWANCE (MAWA). ACTUAL IRRIGATION SCHEDULES SHALL BE REGULATED BY AUTOMATIC IRRIGATION CONTROLLERS USING CURRENT REFERENCE EVAPOTRANSPIRATION DATA (E.G. CIMIS) OR SOIL MOISTURE SENSOR DATA.
- PARAMETERS USED TO SET THE AUTOMATIC CONTROLLER SHALL BE DEVELOPED AND SUBMITTED FOR EACH OF THE FOLLOWING:
 - THE PLANT ESTABLISHMENT PERIOD;
 - THE ESTABLISHED LANDSCAPE; AND
 - TEMPORARILY IRRIGATED AREAS
- EACH IRRIGATION SCHEDULE SHALL CONSIDER FOR EACH STATION ALL OF THE FOLLOWING THAT APPLY:
 - IRRIGATION INTERVAL (DAYS BETWEEN IRRIGATION)
 - IRRIGATION RUN TIMES (HOURS OR MINUTES PER IRRIGATION EVENT TO AVOID RUNOFF)
 - NUMBER OF CYCLE STARTS REQUIRED FOR EACH IRRIGATION EVENT TO AVOID RUNOFF
 - AMOUNT OF APPLIED WATER SCHEDULED TO BE APPLIED ON A MONTHLY BASIS
 - APPLICATION RATE SETTING
 - ROOT DEPTH SETTING
 - PLANT TYPE SETTING
 - SOIL TYPE
 - SLOPE FACTOR SETTING
 - SHADE FACTOR SETTING
 - IRRIGATION UNIFORMITY OR EFFICIENCY SETTING



1 HYDROZONE MAP
1" = 20'-0"



LOFTGARDENS LANDSCAPE ARCHITECTURE
 3810 BROADWAY, SACRAMENTO, CA 95817
 WWW.LOFTGARDENS.COM
 P 916.505.1442

EDMUND H. CHANDLER
 5397
 Signature
05-31-2024
 Expiration Date
05/03/2024
 Date
 STATE OF CALIFORNIA

DRAWINGS ARE NOT FINAL UNTIL THEY HAVE BEEN STAMPED AND SIGNED. ONLY SIGNED DRAWINGS SHALL BE USED FOR CONSTRUCTION.

**420 PLACERVILLE DRIVE
 COMMERCIAL BLDG.
 LANDSCAPE IMPROVEMENT PLANS**
 416 - 426 PLACERVILLE DR., PLACERVILLE, CALIFORNIA 95667

PROJECT NO: JRW24-0301
 SCALE: 1" = 20'-0"
 DRAWN BY: EHC3 / LG
 DATE: MAY 03, 2024

REVISIONS:

SHEET TITLE

**WELO COMPLIANCE INFO,
 PLANTING & IRR. NOTES**

SHEET NUMBER

L2.0

SHEET OF

FOR SUBMITTAL - 05/03/2024

IRRIGATION LEGEND

SYM	ITEM	DESCRIPTION
[Symbol]	INLINE DRIP	HUNTER HDL-SERIES 17MM INLINE DRIP EMITTER TUBING, MODEL: HDL-06-12 WITH 0.6 GPH EMITTERS @ 12" O.C.; APPLICATION RATE: 0.6 IN/HR AT 18" O.C. (+/- 1") LINE SPACING; DRAWING INDICATES APPROXIMATE LINE SPACING AND ANTICIPATED ORIENTATION WITHIN EACH PORTION OF THE DRIP HYDROZONE; SCRATCH INTO SURFACE GRADE & COVER WITH BARK MULCH. SECURE LINES WITH SOIL STAPLES AS NEEDED (DO NOT PINCH LINES).
[Symbol]	ECO-WRAP INLINE DRIP	1" SCH 40 PVC HEADER / FOOTER LATERAL FOR 17MM DRIPLINE CONNECTIONS
[Symbol]	PVC TO DRIPLINE	SCH 40 PVC LATERAL TO 17MM DRIPLINE CONNECTION
[Symbol]	MANUAL FLUSH VALVE	MANUAL FLUSH VALVE ASSEMBLY: HUNTER PLD-BV 17MM BARB MANUAL FLUSH VALVE, PLD-LOC ELB LOCKING ELBOW AND PLD-LOC FHS 3/4" HOSE SWIVEL ADAPTER IN ROUND DRIP VALVE BOX; INSTALL ECO-INDICATOR STAKE ADJACENT TO DRIP VALVE BOX
[Symbol]	AIR/VACUUM RELIEF (ARV)	AIR / VACUUM RELIEF VALVE: HUNTER PLD-ARV IN ROUND DRIP VALVE BOX. CONNECT TO DRIPLINE USING A PLD-075-TB-TEE FITTING
[Symbol]	ROOT ZONE WATERING SYSTEM	HUNTER ROOT ZONE WATERING SYSTEM, MODEL: RZWS-36-50-CV, 3 IN. DIAMETER TUBE WITH 4" DIAMETER CAP, 36" LENGTH, 0.5 GPM BUBBLER, CHECK VALVE, BUILT-IN SWING JOINT WITH 1/2" MPT THREADS; INCLUDE RZWS-SLEEVE FILTER FABRIC SLEEVE; INSTALL (2) UNITS PER TREE ON OPPOSITE SIDES OF THE ROOT BALL.
[Symbol]	EXISTING IRRIGATION CONTROLLER (PROTECT IN PLACE)	EXISTING IRRIGATION CONTROLLER 'A' IN PLUMBING ROOM, TO REMAIN. ORBIT 'EASY DIAL' 4 STATION CONTROLLER WITH RAIN DELAY FUNCTION. ADD ORBIT 'RAIN AND FREEZE SENSOR FOR SPRINKLER CONTROLLERS' ON EAVE ADJACENT TO PLUMBING ROOM. CONNECT TO CONTROLLER SENSOR INPUT AND TURN ON RAIN SENSOR.
[Symbol]	PARKING LOT AUTOMATIC IRRIGATION CONTROLLER	HUNTER HPC CONTROLLER, HYDRAWISE-ENABLED WITH WIFI CONNECTION, 4-STATION BASE MODEL, PLASTIC WALL-MOUNT CABINET, 120 VAC. INSTALL PC-DM EZ DECODER OUTPUT MODULE FOR 2-WIRE CONTROL OF MV & 28 STATION VALVES; ROUTE (3) #14 DIRECT BURIAL IRRIGATION WIRES (2 CONDUCTORS, 1 SPARE) FOR 2-WIRE PATH TO ALL END RUNS OF THE IRRIGATION SYSTEM; MAKE ALL WIRE AND DECODER CONNECTIONS USING DBRY-6 WATERPROOF WIRING CONNECTORS; INSTALL RAIN-CLIK SENSOR ON BLDG. EAVE NEAR CONTROLLER AND ROUTE SENSOR WIRES TO S1 INPUT. CONNECT HC FLOW METER TO S2 INPUT. MOUNT CONTROLLER ON INTERIOR OF ELECTRICAL ROOM WITH LCD SCREEN AT APPROX. 60 IN. ABOVE THE FLOOR (FINAL LOCATION TBD BY OWNER); PROVIDE DEDICATED, GROUNDED 15A 110 VAC CIRCUIT TO CONTROLLER LOCATION; INSTALLATION INCLUDES ALL WIRING AND PROGRAMMING; HYDRAWISE SETUP; LAMINATED HYDROZONE MAP, COMPLETED HYDROZONE INFO TABLE, & INFO STICKER SPECIFYING COMPLETION DATE AND IRRIGATION SYSTEM DESIGNER & INSTALLER CONTACT INFO
[Symbol]	WATER METER	EXISTING 3/4" E.I.D. WATER METER, SEE PLAN.
[Symbol]	BACKFLOW	WILKINS 3/4" 975XL2 LEAD-FREE REDUCED PRESSURE BACKFLOW; INSTALL OVER PRE-MANUFACTURED PAD, REFER TO L2.0 - IRRIGATION P.O.C. NOTES AND L2.1 - IRRIGATION PLAN, FINAL LOCATION TO BE APPROVED BY OWNER PRIOR TO INSTALLATION. INCLUDE STRONGBOX PEB-30 POLAR BARRIER SLIP-ON INSULATING COVER
[Symbol]	MANUAL SHUT-OFF	MANUAL SHUT-OFF VALVE DOWNSTREAM OF BACKFLOW; NIBCO T-113-LF 1 1/2" LEAD-FREE GATE VALVE IN ROUND PLASTIC VALVE BOX
[Symbol]	FLOW METER	HUNTER HC-150-FLOW 1 1/2" HC FLOW METER; INSTALL IN RECTANGULAR PLASTIC VALVE BOX WITH A MINIMUM UNINTERRUPTED PIPE LENGTH OF 15" UPSTREAM AND 12" DOWNSTREAM OF FLOW METER FOR PROPER OPERATION; ROUTE TO CONTROLLER 'B' WITH SHIELDED MIN. 18 AWG WIRE ROUTED ALONG MAINLINE AND VIA EXISTING CONDUIT TO ELECTRICAL ROOM; CONNECT TO SENSOR INPUT S2 FOR HIGH/LOW FLOW MONITORING AND SUB-METERING OF IRRIGATION WATER USE
[Symbol]	DISC FILTER	DIG CORP P75-XXXXL1 1 1/2" MNPT DISC FILTER WITH 17-042D 120 MESH 1 1/2" DISK SET; INSTALL IN LARGE RECTANGULAR PLASTIC VALVE BOX; SIZE BOX AND ORIENT FILTER BODY TO ALLOW COMPLETE REMOVAL OF DISC FILTER ASSEMBLY FOR MAINTENANCE
[Symbol]	FERTIGATION (PASSIVE)	EZ-FLOW PASSIVE (NON-PRESSURIZED) FERTIGATION SYSTEM, MODEL # EZKIT-1 1.75 GALLON MAIN-LINE DISPENSING SYSTEM IN 24" X 15" X 12" RECTANGULAR PLASTIC VALVE BOX; INCLUDE UPGRADE TO CBV150 1 1/2" SCH 40 PVC BALL VALVE COUPLER
[Symbol]	MASTER VALVE	BUCKNER/SUPERIOR 1 1/4" 3200 SERIES MASTER VALVE (NC) IN RECTANGULAR PLASTIC VALVE BOX; CONNECT TO CONTROLLER USING EZ-1 DECODER ON 2-WIRE PATH, PROGRAM DECODER FOR PMV SETTING
[Symbol]	REMOTE CONTROL VALVE	HUNTER ICV-101G; 1" REMOTE CONTROL VALVE IN RECTANGULAR PLASTIC VALVE BOX, MARK VALVE ID ON LOCATION; INSTALL SPARE'S TRUSLON VALVE ON UPSTREAM LEG OF VALVE; CONNECT TO 2-WIRE PATH WITH (1) EZ-1 DECODER PER VALVE ON DECODER STAKING KIT ADJACENT TO VALVE; INCLUDE SUFFICIENT LENGTH OF 2-WIRE PATH INSIDE VALVE BOX TO ALLOW DECODER TO BE LIFTED ABOVE VALVE BOX RM FOR DECODER TESTING AND SERVICING OF WIRE CONNECTIONS; INCLUDE NON-POTABLE VALVE ID TAG ON SOLENOID WIRES
[Symbol]	RCV-DRIP	INDICATES DRIP VALVE ON PLAN, REFER TO 1" REMOTE CONTROL VALVE (ABOVE)
[Symbol]	(E) RCV-ASV	(EXISTING) ANTI-SIPHON VALVE AT FRONT OF BLDG.
[Symbol]	(E) HOSE BIB	(EXISTING) 1" HOSE BIB ON DOMESTIC WATER SYSTEM ON OR ADJACENT TO BLDG. AND UPSTREAM OF PARKING LOT IRRIGATION TIE-IN.
[Symbol]	QUICK COUPLER	HUNTER 1" QUICK COUPLER SNAPLOCK COMBO KIT MODEL HQ-SL-K-1, IN ROUND PLASTIC VALVE BOX; MARK QC ON VALVE BOX LID; INCLUDE (1) 1" QUICK COUPLER KEY FOR THE PROJECT TO BE STORED ON A WALL HOOK BELOW THE IRRIGATION CONTROLLER
[Symbol]	BALL VALVE	LINE-SIZE SCHEDULE 40 PVC BALL VALVE IN ROUND PLASTIC VALVE BOX. MARK BV ON VALVE BOX LID
[Symbol]	IRR MAINLINE STUB	PARKING LOT IRRIGATION SYSTEM STUB-OUT FOR POSSIBLE FUTURE EXPANSION (TO BE DETERMINED) IN RECTANGULAR PLASTIC VALVE BOX; MARK STUB ON VALVE BOX LID; INCLUDES LINE-SIZE BALL VALVE, 12" MIN. LENGTH MAINLINE STUB WITH CAP, 36" MIN. TAIL OF 2-WIRE PATH COILED WITHIN VALVE BOX WITH MARKINGS TO IDENTIFY EACH SIGNAL WIRE AND THE SPARE WIRE; INSTALL WIRE NUTS ON ENDS; INCLUDE DRAIN ROCK & STABILIZING BLOCKS PER RCV DETAIL
[Symbol]	NON-PRESSURE LATERAL	SCHEDULE 40 PVC NON-PRESSURE LATERAL PIPE, 1" U.N.O. DOWNSIZE PIPE ONLY IN DIRECTION OF FLOW.
[Symbol]	IRRIGATION MAINLINE	SCHEDULE 40 PVC IRRIGATION MAINLINE, 1 1/2" U.N.O.
[Symbol]	ANTICIPATED ACTUAL MAINLINE PATH	ANTICIPATED ACTUAL IRRIGATION MAINLINE PATH AND VALVE BOX LOCATIONS FOR INSTALLATION REFERENCE. NOTE ANY LAYOUT MODIFICATIONS MADE DURING SYSTEM INSTALLATION IN RED PEN WITH CLEAR & LEGIBLE TEXT AND SYMBOLS ON AS-BUILT COPY OF APPROVED IRRIGATION PLANS. PROVIDE HARDCOPY AS-BUILT MARKUPS TO OWNER AT COMPLETION OF INSTALLATION AND INCLUDE A FULL-SIZE COLOR SCAN TO THE LANDSCAPE ARCHITECT.
[Symbol]	PIPE SLEEVE	SCHEDULE 40 PVC IRRIGATION PIPE SLEEVE, 3" TYP. FOR LATERAL LINES, 4" TYP FOR MAINLINE
[Symbol]	WIRE CONDUIT	GRAY SCHEDULE 80 PVC ELECTRICAL CONDUIT, 2" U.N.O.

ADDITIONAL INFORMATION
SITE IMPROVEMENTS & GRADING - SEE CIVIL DWGS
WELO INFORMATION - SEE SHEET L2.0
IRRIGATION NOTES - SEE SHEET L2.0
LANDSCAPE & IRR DETAILS - SEE SHEET L3.1

IRRIGATION KEYNOTES

- IR-01 (EXISTING) WATER SUPPLY PIPING AND VALVES; APPROXIMATED & DRAWN DIAGRAMMATICALLY BASED UPON OWNER INPUT AND SITE OBSERVATIONS (CONTRACTOR TO V.I.F. PRIOR TO BIDDING)
- IR-02 MANUAL SHUT-OFF VALVE AT PARKING LOT IRRIGATION SYSTEM POINT OF CONNECTION (P.O.C.) PMC 10-6-6 (A)(1)(e)
- IR-03 (EXISTING) DOMESTIC WATER LINE INTO BUILDING
- IR-04 (EXISTING) 2" ELECTRICAL CONDUIT FROM ELECTRICAL ROOM TO PLANTING AREA NEAR EXISTING HOSE BIB
- IR-05 PARKING LOT IRRIGATION P.O.C. EQUIPMENT IN (E) STORAGE YARD, REFER TO IRR LEGEND AND IRRIGATION P.O.C. NOTES, SHEET L2.0
- IR-06 QUICK COUPLER FOR SERVICING PARKING LOT IRRIGATION P.O.C. EQUIPMENT
- IR-07 ROUTE IRRIGATION MAINLINE AND WIRES OUTSIDE OF TREE PROTECTION FENCE, TYP.
- IR-08 STUB FOR FUTURE EXPANSION OF PARKING LOT IRRIGATION SYSTEM (FUTURE, TBD)
- IR-09 IRRIGATION MAINLINE SHUT-OFF AND PIPE SLEEVES FOR CROSSING THE EXISTING MAINTENANCE ACCESS ROUTE TO THE UNDEVELOPED INTERIOR OF THE PROPERTY. SET DEPTH TO ACCOUNT FOR POSSIBLE FUTURE EXTENSION OF PAVING
- IR-10 QUICK COUPLER ON IRRIGATION MAINLINE PATH TO SUPPORT PLANT ESTABLISHMENT AND ONGOING LANDSCAPE MAINTENANCE
- IR-11 (EXISTING) 3/4" SCH. 40 PVC PIPE STUB-UPS AT CORNER OF PLANTERS ARE FROM VALVE A2; PROTECT IN PLACE FOR FUTURE USE (TBD). DO NOT CONNECT TO PARKING LOT IRRIGATION SYSTEM

**420 PLACERVILLE DRIVE
COMMERCIAL BLDG.
LANDSCAPE IMPROVEMENT PLANS**
416 - 426 PLACERVILLE DR., PLACERVILLE, CALIFORNIA 95667

PROJECT NO: JRW24-0301
SCALE: 1" = 10'-0"
DRAWN BY: EHC3 / LG
DATE: MAY 03, 2024

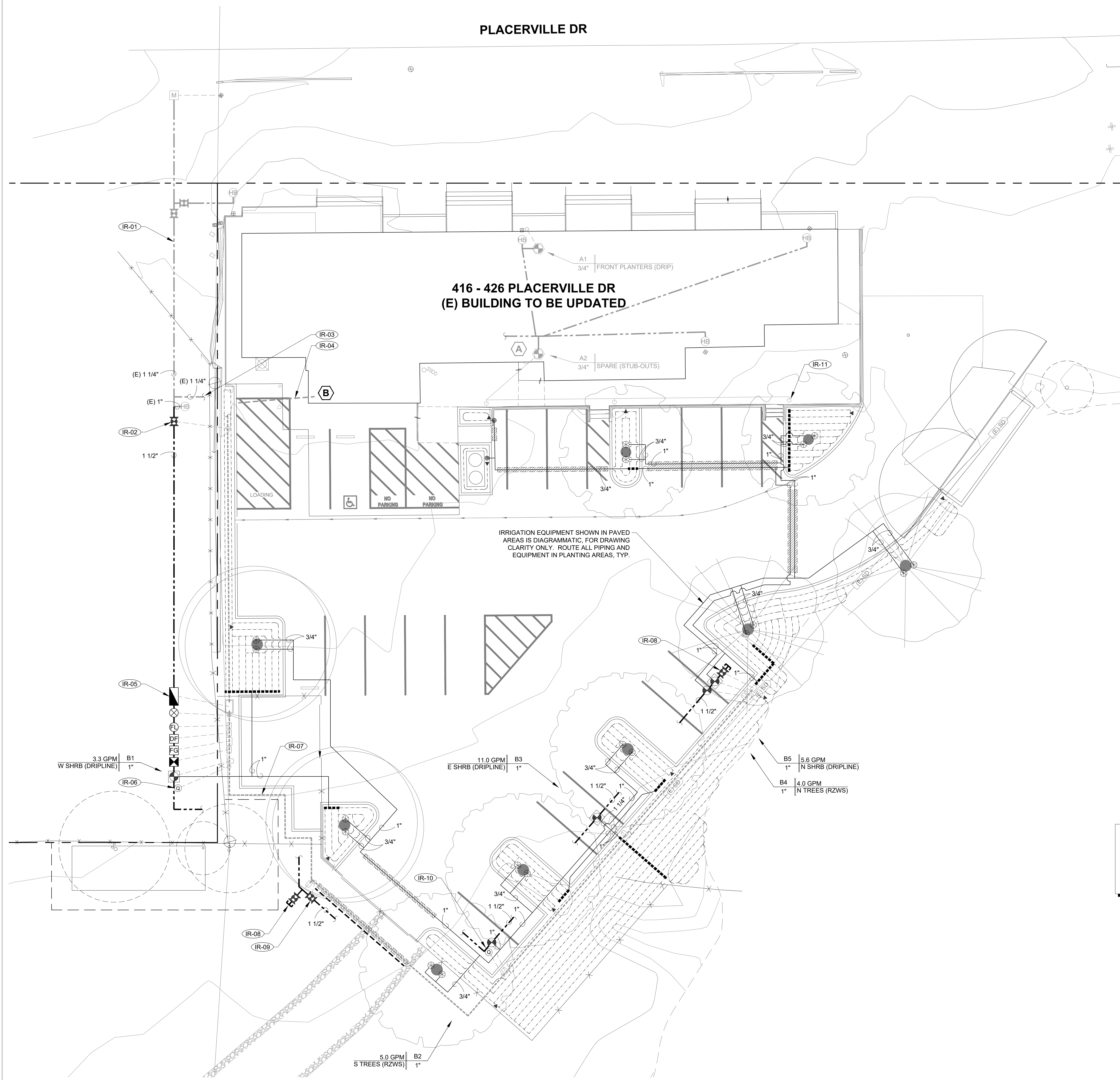
REVISIONS:

NO.	DESCRIPTION

SHEET TITLE
IRRIGATION PLAN
SHEET NUMBER

L2.1
SHEET OF

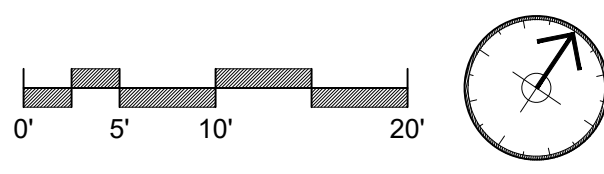
FOR SUBMITTAL - 05/03/2024



1 IRRIGATION PLAN
1" = 10'-0"

H. Chandler
05/03/2024

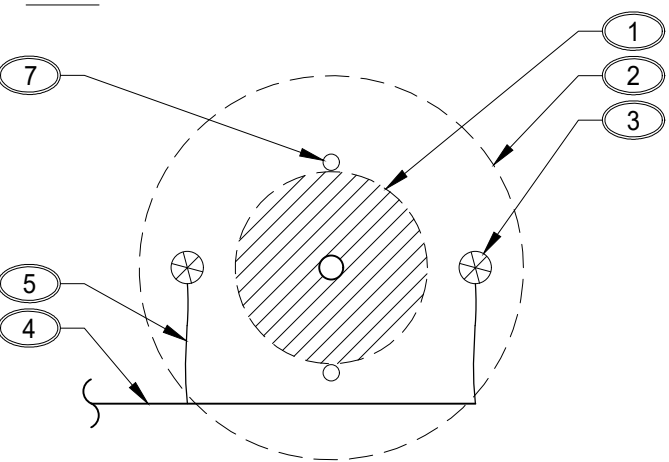
"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN"



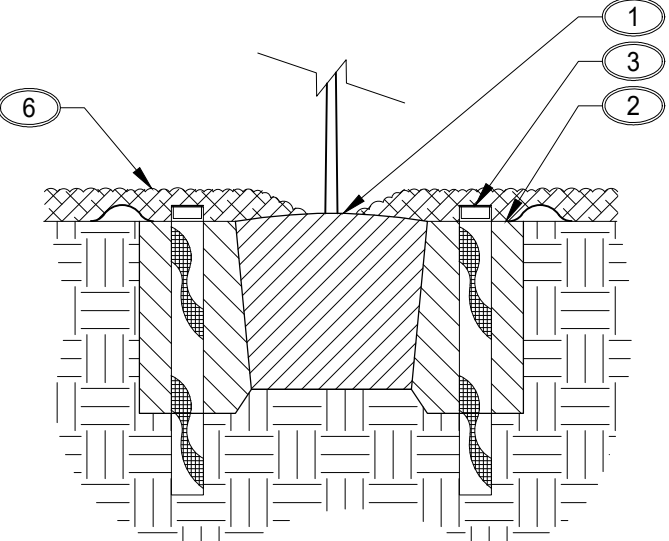
KEYNOTES

- TREE ROOT BALL
- TREE PLANTING PIT 2X DIAMETER OF ROOT BALL, TYP.
- PRE-FABRICATED TREE BUBBLER IN MESH TUBE. REFER TO IRRIGATION LEGEND FOR SPECIFICATION. LOCATE 90 DEG. OFF TREE STAKE LOCATIONS
- NON-PRESSURE LATERAL PIPING
- SWING JOINT CONNECTION TO TREE BUBBLER UNIT
- BARK MULCH, 3" NOMINAL U.N.O.
- TREE STAKE, TYP.

PLAN



SECTION



NOTES

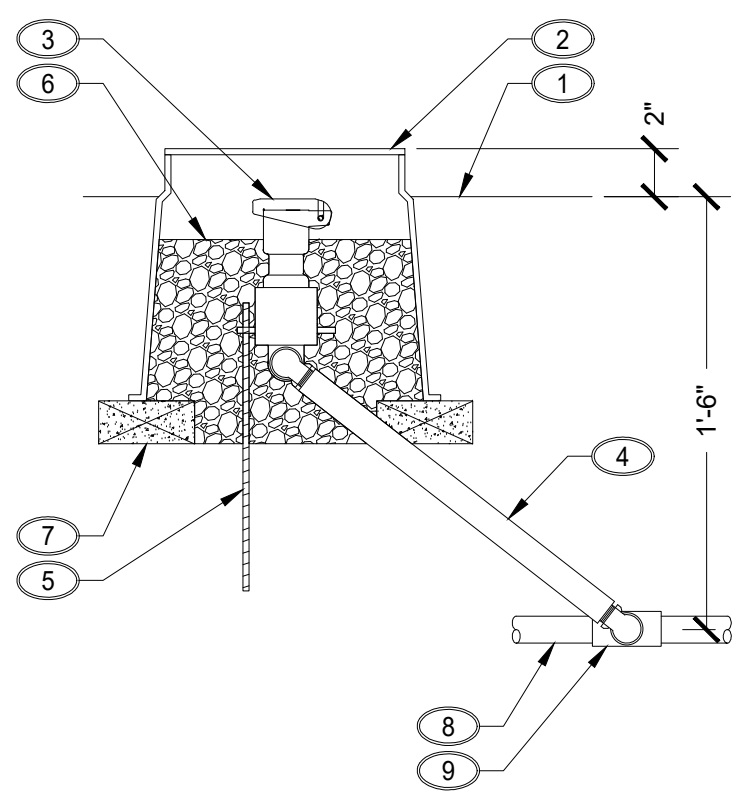
- REFER TO IRRIGATION NOTES FOR ADDITIONAL INFORMATION
- SET TOP OF RWS UNITS 1" - 2" ABOVE SURFACE OF WATERING BASIN
- ROUTE IRRIGATION PIPING TO BE CLEAR OF TREE STAKE LOCATIONS

TREE BUBBLERS

1/2" = 1'-0" **P**

KEYNOTES

- FINISH GRADE
- 10" ROUND VALVE BOX
- QUICK COUPLER
- SWING JOINT ASSEMBLY
- 12" #4 REBAR SUPPORT
- 3/4" MINUS WASHED GRAVEL
- BRICK SUPPORTS (2)
- IRRIGATION MAINLINE
- 1" PVC SCH 40 TEE OR ELL



NOTES

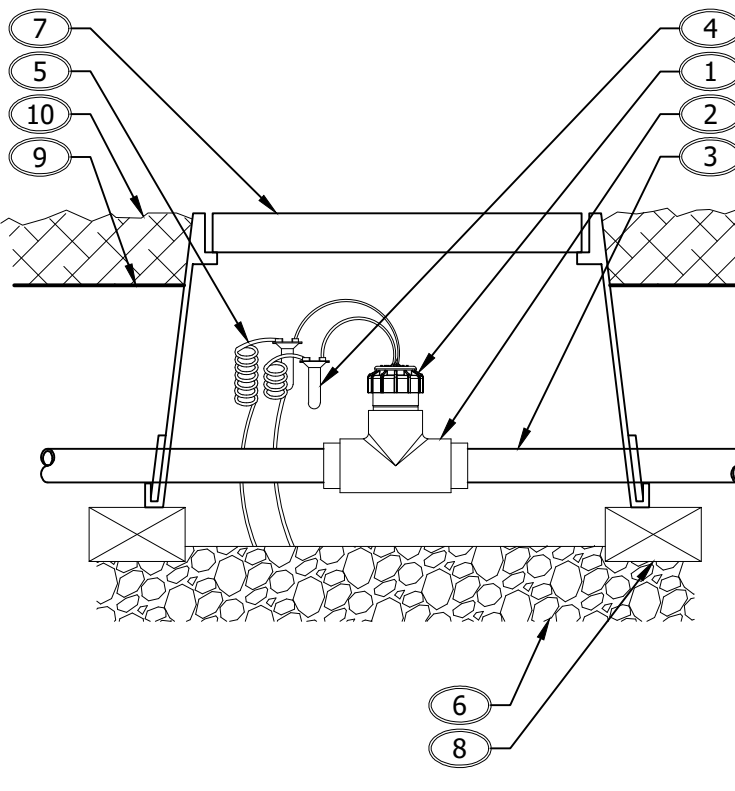
- REFER TO IRRIGATION PLAN AND NOTES FOR ADDITIONAL INFORMATION

QUICK COUPLER

1" = 8" **L**

KEYNOTES

- FLOW SENSOR, REFER TO IRRIGATION LEGEND
- FLOW SENSOR HOUSING
- IRRIGATION MAINLINE
- WATERPROOF UL-LISTED WIRE CONNECTOR
- 30' COIL OF SIGNAL WIRE, ROUTE TO IRRIGATION CONTROLLER
- 3" MINIMUM DEPTH WASHED DRAIN ROCK
- RECTANGULAR PLASTIC VALVE BOX
- STABILIZING BLOCK UNDER EDGE OF VALVE BOX, MINIMUM OF 3
- FINISH GRADE
- MULCH



NOTES

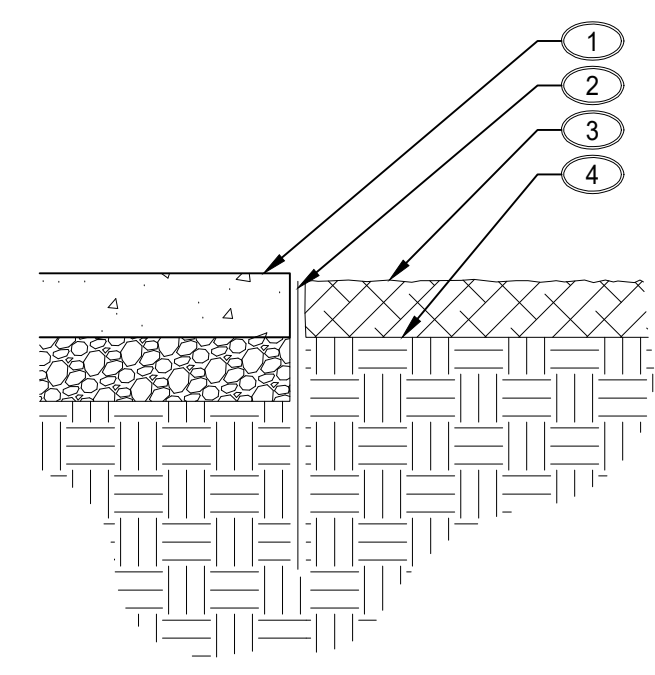
- REFER TO IRRIGATION PLAN AND NOTES FOR ADDITIONAL INFORMATION

FLOW SENSOR

SECTION / ELEVATION 1/8" = 1'-0" **H**

KEYNOTES

- ADJACENT HARDSCAPE
- 18" DEEP ROOT BARRIER PANEL PLACED ALONG HARDSCAPE EDGE WITH RIBS FACING PLANTING AREA. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. SET TOP EDGE OF ROOT BARRIER PANEL APPROX. 1/2" BELOW TOP CORNER OF ADJACENT HARDSCAPE
- 3" - 4" BARK MULCH IN SHRUB PLANTING AREAS TYPICAL. REFER TO PLANTING NOTES
- FINISH SURFACE OF AMENDED PLANTING AREA (SHRUB PLANTING AREA SHOWN)



NOTES

- REFER TO PLANTING NOTES FOR ADDITIONAL REQUIREMENTS

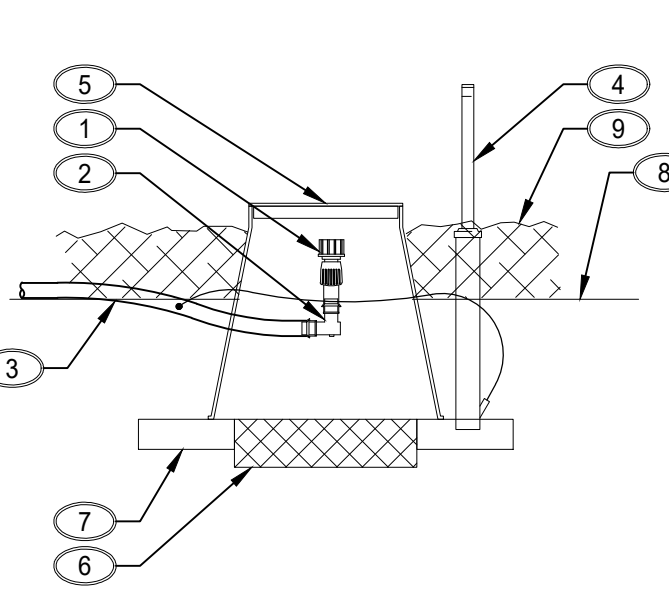
ROOT BARRIER

SECTION / ELEVATION 1" = 1'-0" **D**

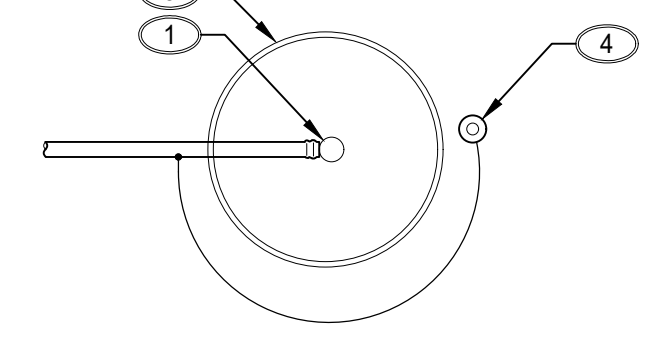
KEYNOTES

- PLD-LOC FHS 17MM INSERT LOC X 3/4" FEMALE HOSE SWIVEL END CAP
- PLD-ELB 17MM INSERT ELBOW
- CONNECTION TO 17MM DRIP LINE
- ECO-INDICATOR
- ROUND PLASTIC VALVE BOX
- 2" DEPTH WASHED DRAIN ROCK
- (2) STABILIZER BRICKS
- FINISH GRADE
- BARK MULCH

SECTION



PLAN



NOTES

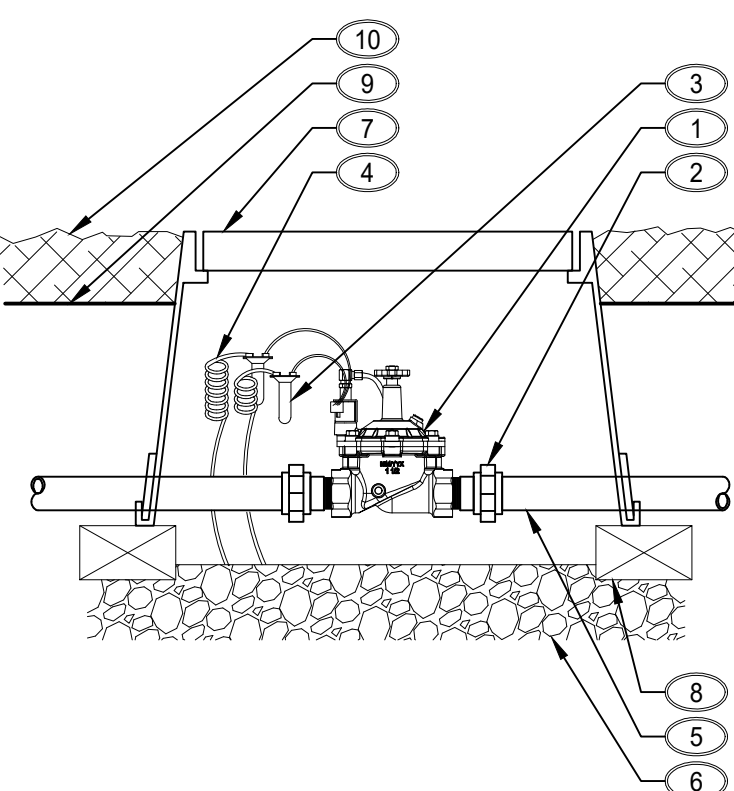
- REFER TO NOTES AND SPECIFICATIONS FOR ADDITIONAL INFORMATION

DRIP MANUAL FLUSH VALVE

PLAN / SECTION 1/8" = 1" **O**

KEYNOTES

- MASTER VALVE, REFER TO IRRIGATION LEGEND
- UNION, TYP. OF 2
- WATERPROOF UL-LISTED WIRE CONNECTOR
- 30' LENGTH OF COILED SIGNAL WIRE IN VALVE BOX, ROUTE SIGNAL WIRE TO IRRIGATION CONTROLLER
- IRRIGATION MAINLINE
- 3" MINIMUM DEPTH OF WASHED DRAIN ROCK
- RECTANGULAR PLASTIC VALVE BOX
- STABILIZING BLOCK UNDER EDGE OF VALVE BOX, MINIMUM OF 3
- FINISH GRADE
- MULCH



NOTES

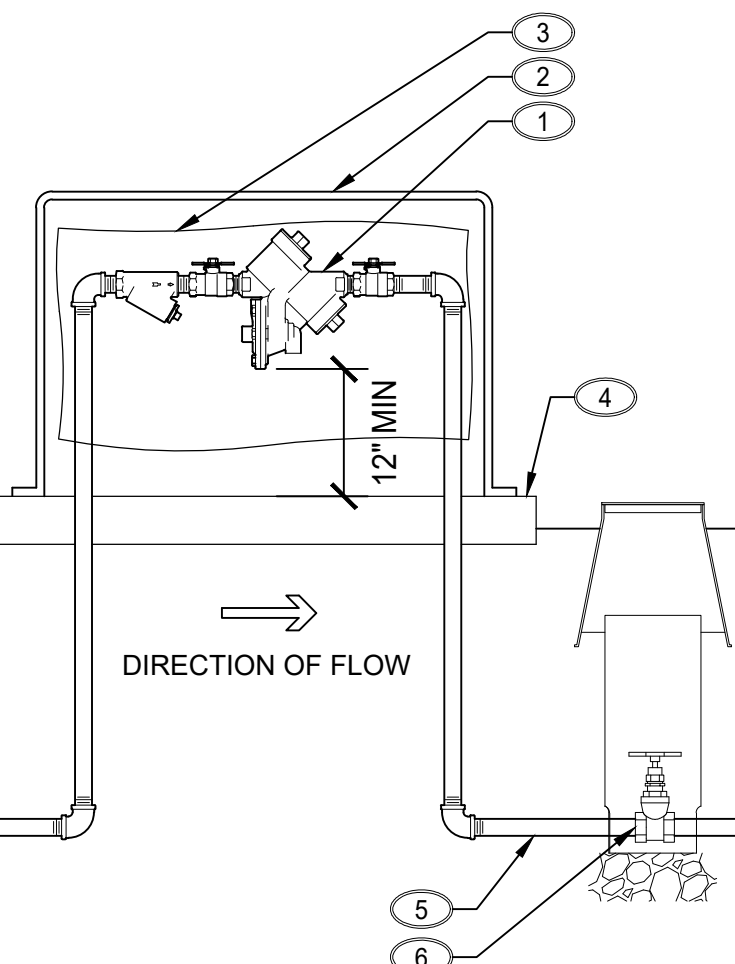
- REFER TO IRRIGATION PLAN AND NOTES FOR ADDITIONAL INFORMATION

MASTER VALVE

SECTION / ELEVATION 1/8" = 1" **K**

KEYNOTES

- REDUCED PRESSURE PRINCIPLE BACKFLOW DEVICE, REFER TO P.O.C. NOTE ON IRRIGATION PLAN FOR SIZE AND LOCATION
- BACKFLOW DEVICE ENCLOSURE, REFER TO IRRIGATION LEGEND FOR TYPE, SIZE AND COLOR/FINISH
- FREEZE PROTECTION BLANKET, SIZE PER SIZE OF BACKFLOW DEVICE AND PIPING
- CONCRETE BASE FOR ENCLOSURE, SLOPE TO DRAIN
- BEGIN IRRIGATION MAINLINE AT DOWNSTREAM SIDE OF BACKFLOW ASSEMBLY
- MANUAL SHUT-OFF VALVE IMMEDIATELY DOWNSTREAM OF BACKFLOW DEVICE, REFER TO IRRIGATION PLAN & IRRIGATION LEGEND



NOTES

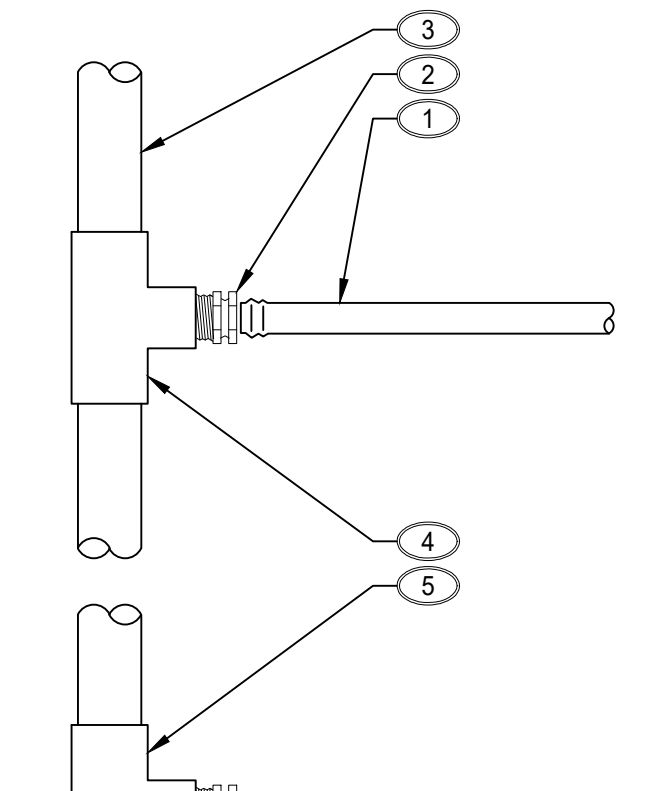
- REFER TO MANUFACTURER'S RECOMMENDATIONS FOR ADDITIONAL INSTALLATION REQUIREMENTS

BACKFLOW ENCLOSURE

SECTION / ELEVATION 1" = 1'-0" **G**

KEYNOTES

- INLINE DRIP EMITTER TUBING, REFER TO IRRIGATION LEGEND FOR TYPE AND LINE SPACING. PROVIDE A BLANK TUBING RISER FROM THE HEADER / FOOTER LATERAL TO AN ELL X ELL INSERT FITTING FOR EACH LINE
- 17MM INSERT X MPT ADAPTER
- HEADER / FOOTER IRRIGATION LATERAL, HEADER 1" MIN, FOOTER 3/4" MIN
- SLIP X SLIP X FPT TEE
- SLIP X FPT ELL



NOTES

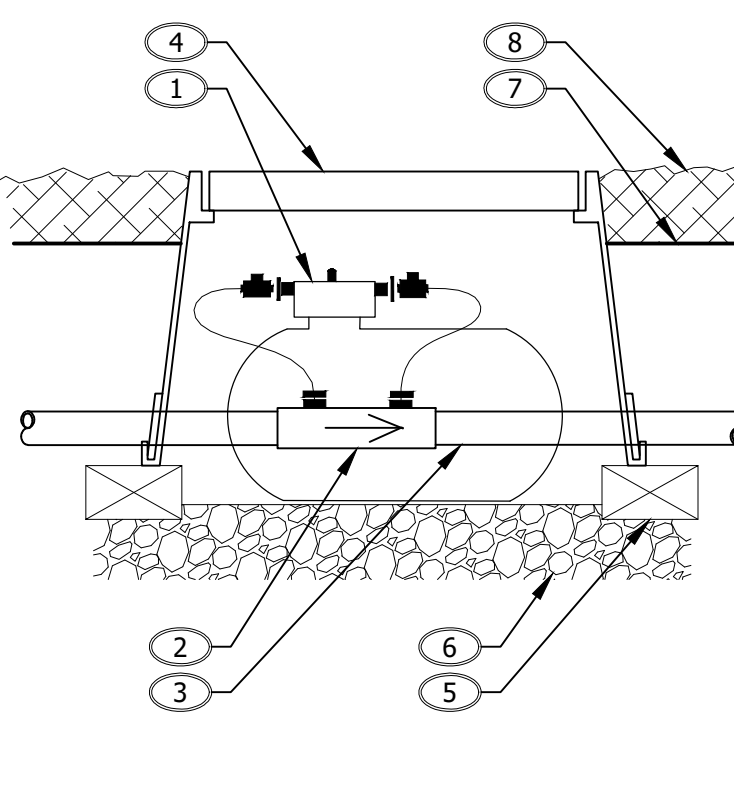
- REFER TO NOTES AND SPECIFICATIONS FOR ADDITIONAL INFORMATION
- ALL INSERT FITTINGS SHALL BE 17MM U.N.O.
- INSERT FITTINGS SHALL BE FULLY SEATED
- TAPE THREADED CONNECTIONS WHEN RECOMMENDED BY THE FITTING MANUFACTURER

DRIP HEADER / FOOTER

PLAN 1/4" = 1" **N**

KEYNOTES

- PASSIVE FERTIGATION SYSTEM TANK (NON-PRESSURIZED) AND DISPENSER SYSTEM
- MAINLINE COUPLER
- IRRIGATION MAINLINE
- RECTANGULAR PLASTIC VALVE BOX WITH LOCKING COVER
- STABILIZING BLOCKS UNDER EDGE OF VALVE BOX, MIN OF 4
- 3" MIN DEPTH OF WASHED DRAIN ROCK
- FINISH GRADE
- BARK MULCH



NOTES

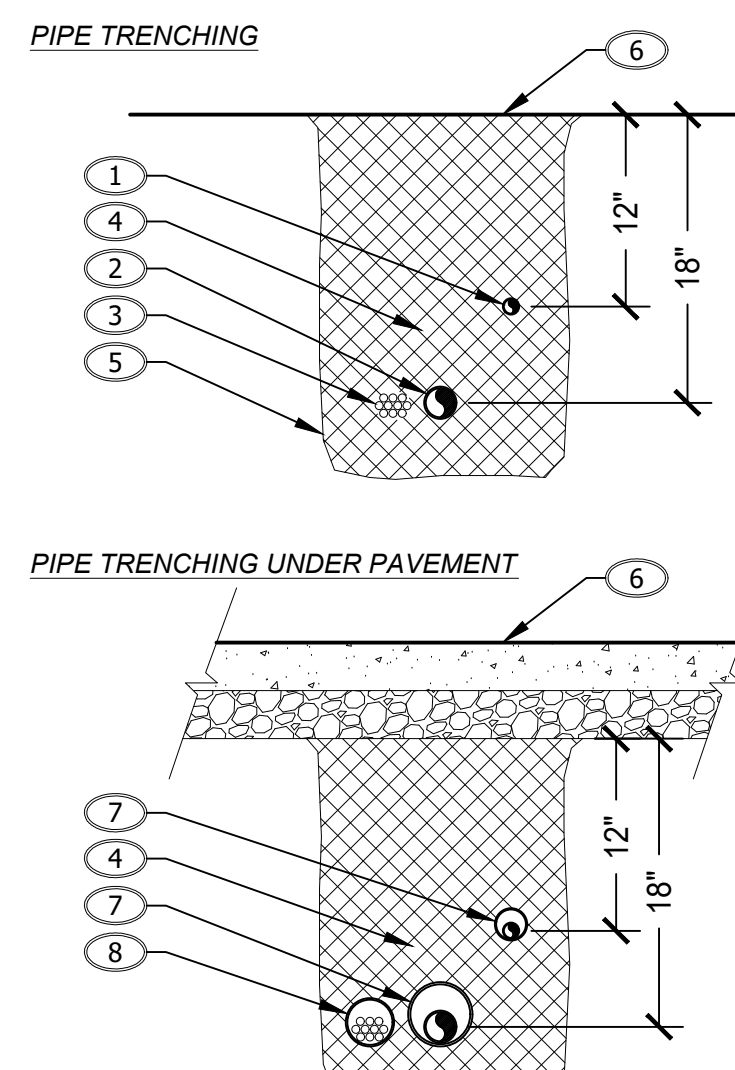
- REFER TO NOTES AND SPECIFICATIONS FOR ADDITIONAL INFORMATION

PASSIVE FERTIGATION SYS.

SECTION / ELEVATION 1/8" = 1" **J**

KEYNOTES

- NON-PRESSURE LATERAL
- PRESSURIZED IRRIGATION MAINLINE
- CONTROL WIRE BUNDLE, TAPED EVERY 10' O.C., ROUTE ADJACENT TO IRRIGATION MAINLINE
- CLEAN BACKFILL, COMPACTED TO AVOID SETTLING (DO NOT CRUSH PIPES OR SLEEVES DURING COMPACTION)
- TRENCH
- FINISH GRADE
- SCH. 40 PVC SLEEVE, 2X DIAMETER OF PIPE TO BE SLEEVED TYP. MINIMUM MAINLINE SLEEVE SIZE IS 3"
- SCH. 40 PVC WIRE CONDUIT



NOTES

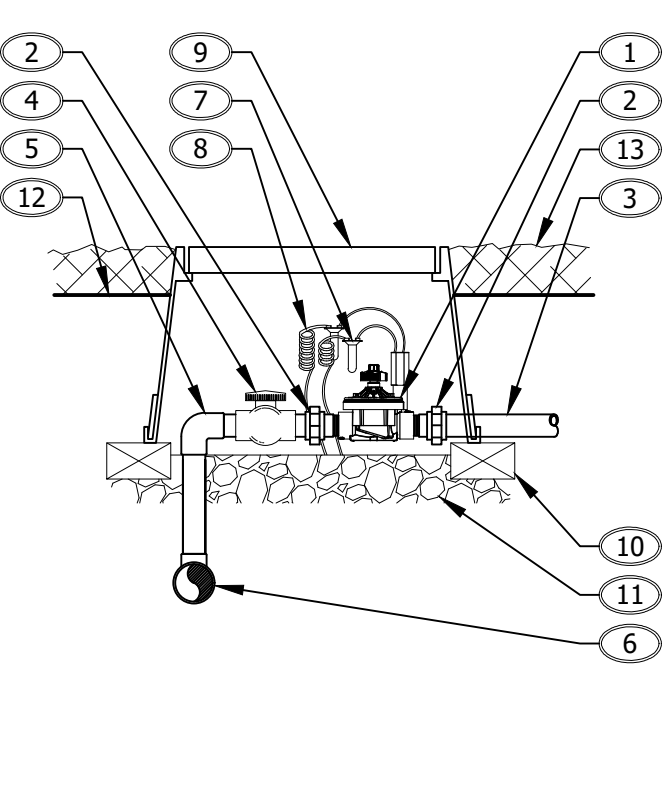
- REFER TO NOTES AND SPECIFICATIONS FOR ADDITIONAL INFORMATION
- BACKFILL SHALL BE CLEAN AND FREE OF DEBRIS AND SHARP OBJECTS INCLUDING ROCKS OVER 1" IN SIZE
- DO NOT CO-LOCATE PRESSURIZED MAINLINE AND CONTROL WIRES IN A COMMON SLEEVE

PIPE TRENCHING / SLEEVING

SECTION 1" = 1'-0" **F**

KEYNOTES

- ELECTRIC REMOTE CONTROL VALVE
- THREADED UNION
- LATERAL LINE TO EMISSION DEVICES
- SCH 40 PVC BALL VALVE
- MAINLINE RISER
- IRRIGATION MAINLINE
- WATERPROOF DIRECT-BURY WIRE CONNECTORS
- 30" COIL IN CONTROL WIRES, ROUTE WIRES TO IRRIGATION CONTROLLER
- RECTANGULAR VALVE BOX
- STABILIZING BLOCKS UNDER EDGE OF VALVE BOX
- 3" MIN OF WASHED DRAIN ROCK BELOW VALVE
- FINISH GRADE
- BARK MULCH



NOTES

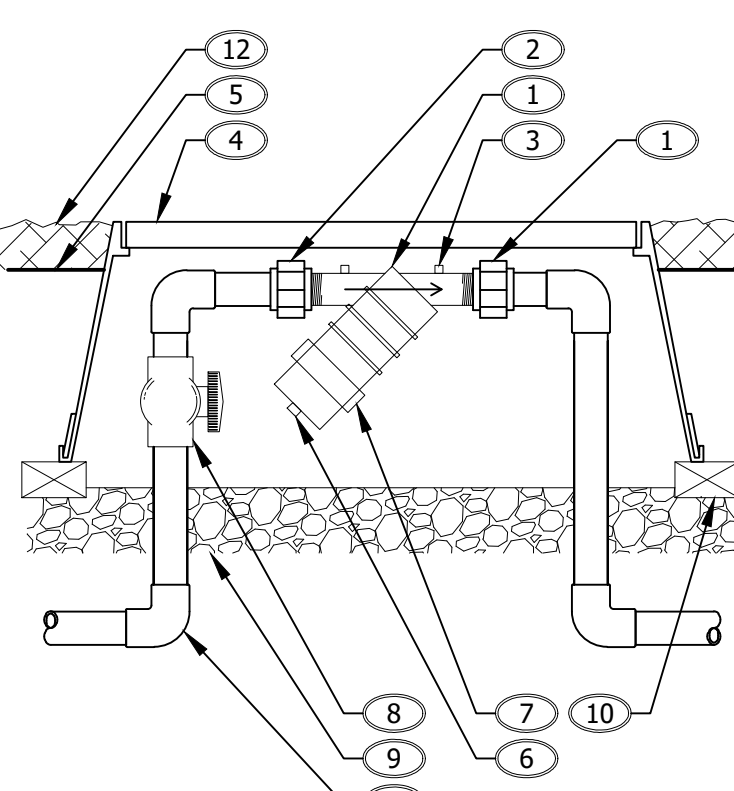
- REFER TO IRRIGATION NOTES FOR ADDITIONAL INFORMATION
- REFER TO IRRIGATION PLAN FOR PIPE AND VALVE SIZES
- INCLUDE NON-POTABLE VALVE ID TAG

REMOTE CONTROL VALVE

SECTION / ELEVATION 1" = 1'-0" **M**

KEYNOTES

- DISC FILTER, REFER TO IRRIGATION LEGEND
- SWIVEL FITTING
- PRESSURE GAUGE CONNECTION POINT, TYP. OF 2
- RECTANGULAR PLASTIC VALVE BOX WITH LOCKING COVER
- FINISH GRADE
- 3/4" FLUSH CAP
- FILTER BODY SERVICE CAP
- SCH. 80 PVC BALL VALVE UPSTREAM OF FILTER FOR SHUT-OFF DURING SERVICING
- 3" MIN DEPTH OF WASHED DRAIN ROCK
- STABILIZING BLOCKS UNDER EDGES OF VALVE BOX, MIN OF 4
- IRRIGATION MAINLINE
- BARK MULCH



NOTES

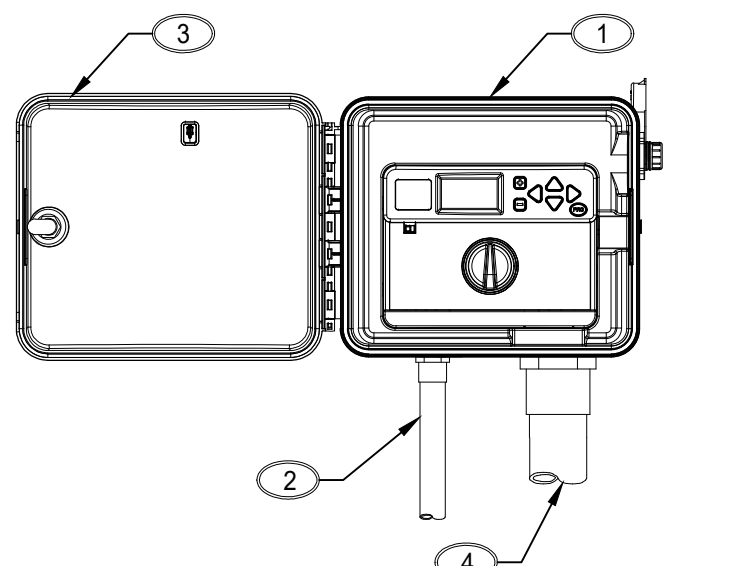
- REFER TO NOTES AND SPECIFICATIONS FOR ADDITIONAL INFORMATION
- CLEAN FILTER ONCE PER SEASON OR WHEN HEAD LOSS ACROSS FILTER EXCEEDS 5 PSI
- INSTALL FILTER BODY TO ALLOW COMPLETE REMOVAL OF FILTER DISC ASSEMBLY FOR CLEANING

MAINLINE DISC FILTER

SECTION / ELEVATION 1" = 1'-0" **I**

KEYNOTES

- IRRIGATION CONTROLLER PER IRRIGATION LEGEND, MOUNT ON EXTERIOR WALL AT LOCATION SPECIFIED ON THE IRRIGATION PLAN
- ROUTE DEDICATED 120VAC 15AMP CIRCUIT INTO BASE OF IRRIGATION CONTROLLER CABINET AND CONNECT TO INTERNAL TRANSFORMER
- PROVIDE ADEQUATE WALL SPACE CLEARANCE FOR FULL OPENING OF CONTROLLER HOUSING
- CONTROL WIRE CONDUIT TO IRRIGATION P.O.C.



NOTES

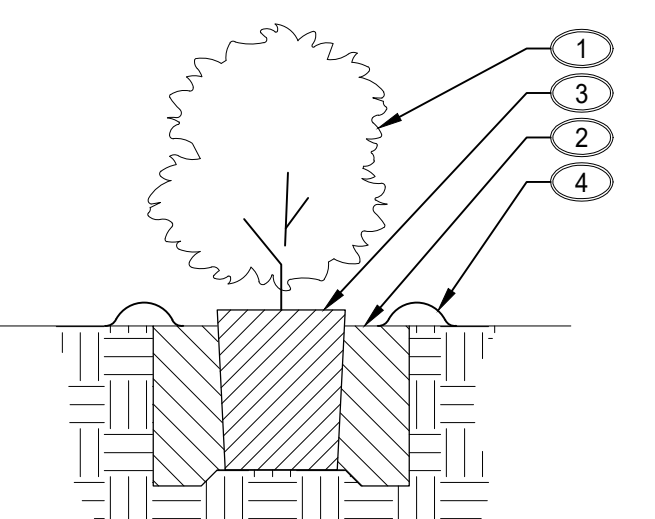
- REFER TO MANUFACTURER'S RECOMMENDATIONS FOR ADDITIONAL INSTALLATION REQUIREMENTS
- INSTALLATION INCLUDES ALL CONNECTIONS AND PROGRAMMING

AUTOMATIC CONTROLLER

ELEVATION 1/8" = 1" **E**

KEYNOTES

- NEW SHRUB, REFER TO PLANTING PLAN
- SHRUB PLANTING PIT, APPROX. 2X WIDTH OF ROOT BALL
- SET ROOTBALL ON BUILT-UP PAD IN CENTER OF PLANTING PIT. SET CROWN APPROX. 1" ABOVE SURROUNDING GRADE
- BUILD UP WATERING BASIN FOR SUPPLEMENTAL WATERING DURING ESTABLISHMENT



NOTES

- REFER TO PLANTING NOTES FOR SHRUB PLANTING PIT BACKFILL MIX SPECIFICATIONS
- REFER TO PLANTING NOTES FOR ADDITIONAL REQUIREMENTS

SHRUB PLANTING

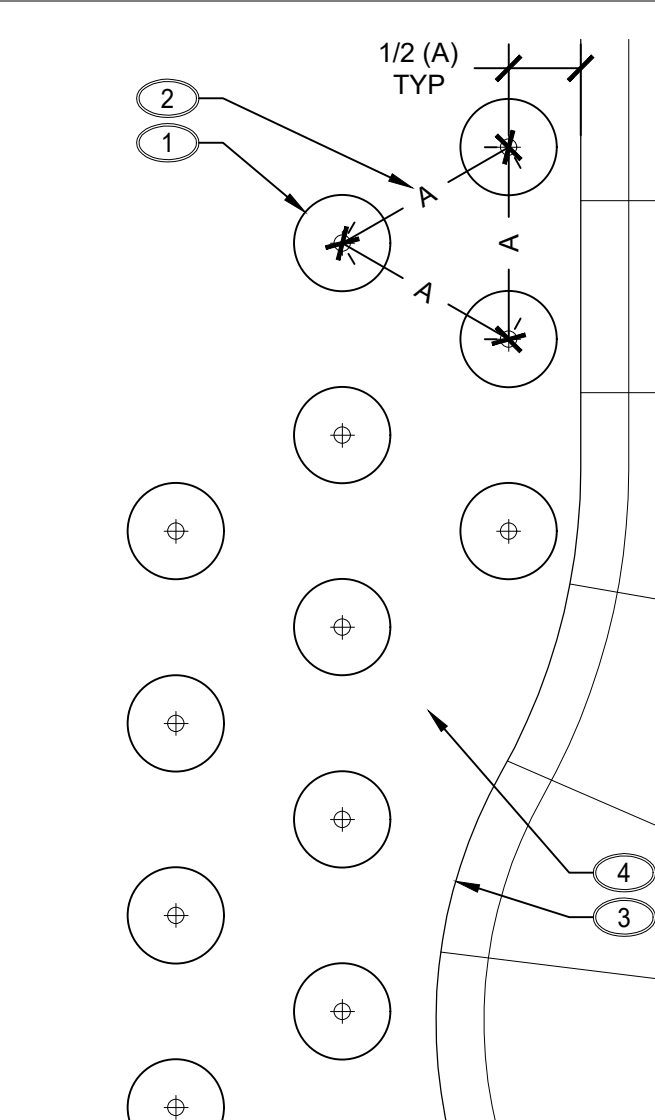
SECTION / ELEVATION 1" = 1'-0" **B**

GROUNDCOVER PLANTING

PLAN 1/2" = 1'-0" **A**

KEYNOTES

- NEW GROUNDCOVER SHRUB, REFER TO PLANTING PLAN
- PLACE GROUNDCOVER USING TRIANGULAR SPACING AT THE SPACING SPECIFIED ON THE PLANTING LEGEND (DISTANCE "A") OR AS SHOWN ON THE PLANTING PLAN
- EDGE OF ADJACENT HARDSCAPE
- RETAIN GEOMETRICAL SPACING AND ARRANGEMENT AT CURVES AND TRANSITIONS TO THE DEGREE THAT IS PRACTICAL AND PROVIDES FOR EFFECTIVE COVERAGE BY THE GROUNDCOVER ONCE ESTABLISHED



NOTES

- REFER TO PLANTING NOTES FOR SHRUB PLANTING PIT BACKFILL MIX SPECIFICATIONS
- REFER TO PLANTING NOTES FOR ADDITIONAL REQUIREMENTS
- REFER TO SHRUB PLANTING DETAIL FOR PLANTING OF INDIVIDUAL PLANTS
- PLACE GROUNDCOVER USING TRIANGULAR SPACING, TYPICAL

LOGO

LOFTGARDENS LANDSCAPE ARCHITECTURE
3810 BROADWAY, SACRAMENTO, CA 95817
WWW.LOFTGARDENS.COM
P 916.505.1442

LICENSED LANDSCAPE ARCHITECT
Ernesto H. Chantre
Signature
05-31-2024
Expiry Date
05/03/2024
Date
STATE OF CALIFORNIA

DRAWINGS ARE NOT FINAL UNTIL THEY HAVE BEEN STAMPED AND SIGNED. ONLY SIGNED DRAWINGS SHALL BE USED FOR CONSTRUCTION.

**420 PLACERVILLE DRIVE
COMMERCIAL BLDG.
LANDSCAPE IMPROVEMENT PLANS**

416 - 426 PLACERVILLE DR., PLACERVILLE, CALIFORNIA 95667

PROJECT NO: JRW24-0301
SCALE: AS NOTED
DRAWN BY: ENCS / LG
DATE: MAY 03, 2024

REVISIONS:

SHEET TITLE

LANDSCAPE DETAILS

SHEET NUMBER

L3.1

SHEET OF

FOR SUBMITTAL - 05/03/2024

**Design Review Application for
 420 Placerville Dr Commercial Bldg**
 416 - 426 Placerville Dr
 Placerville, CA 95667

Owner
 John Williams

Revisions	Sym	Description	Date	By

Designed AS

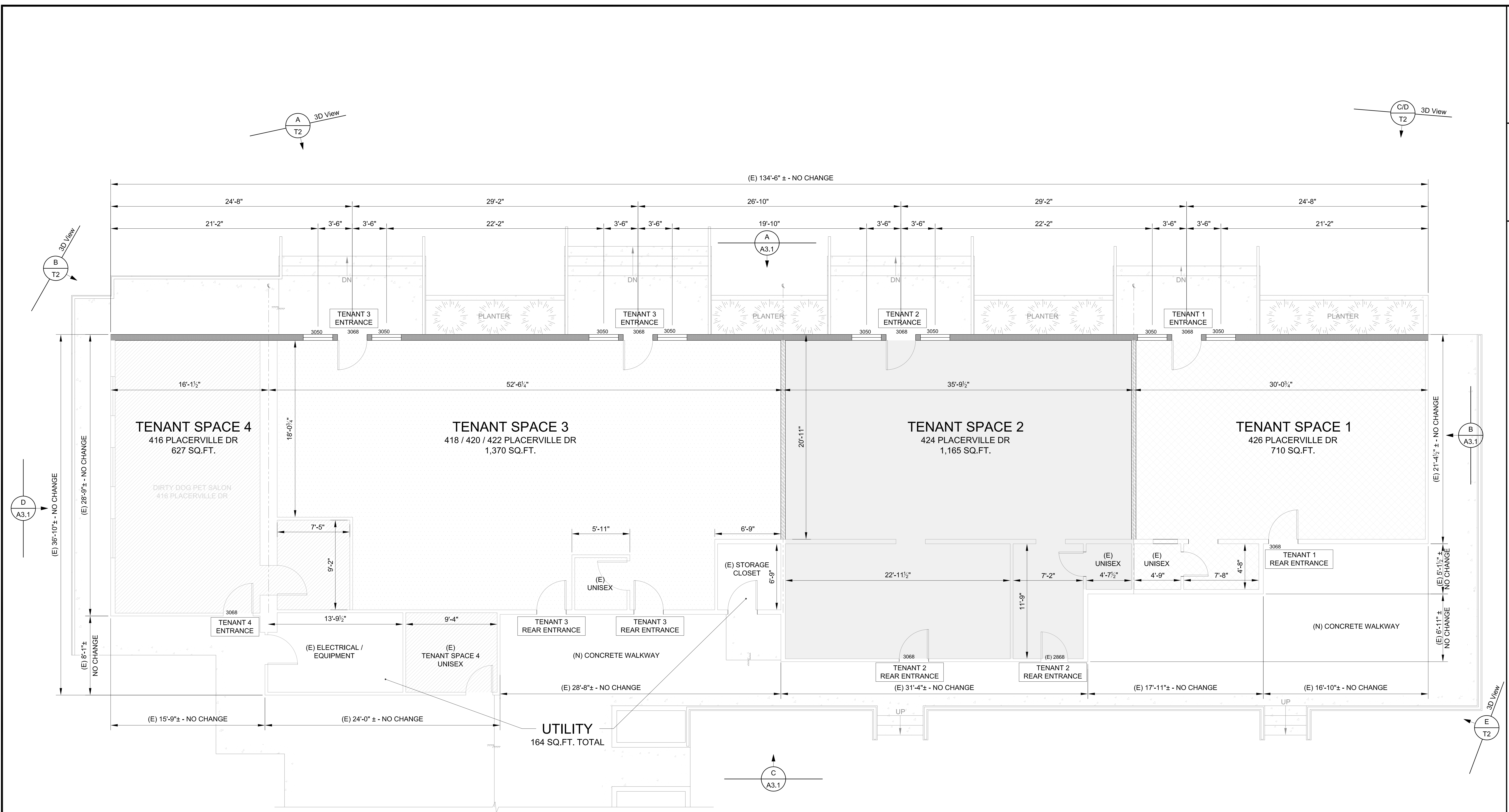
Drawn AS

Date 05/24

Floor Plan

Sheet

A2.1

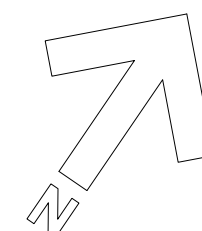


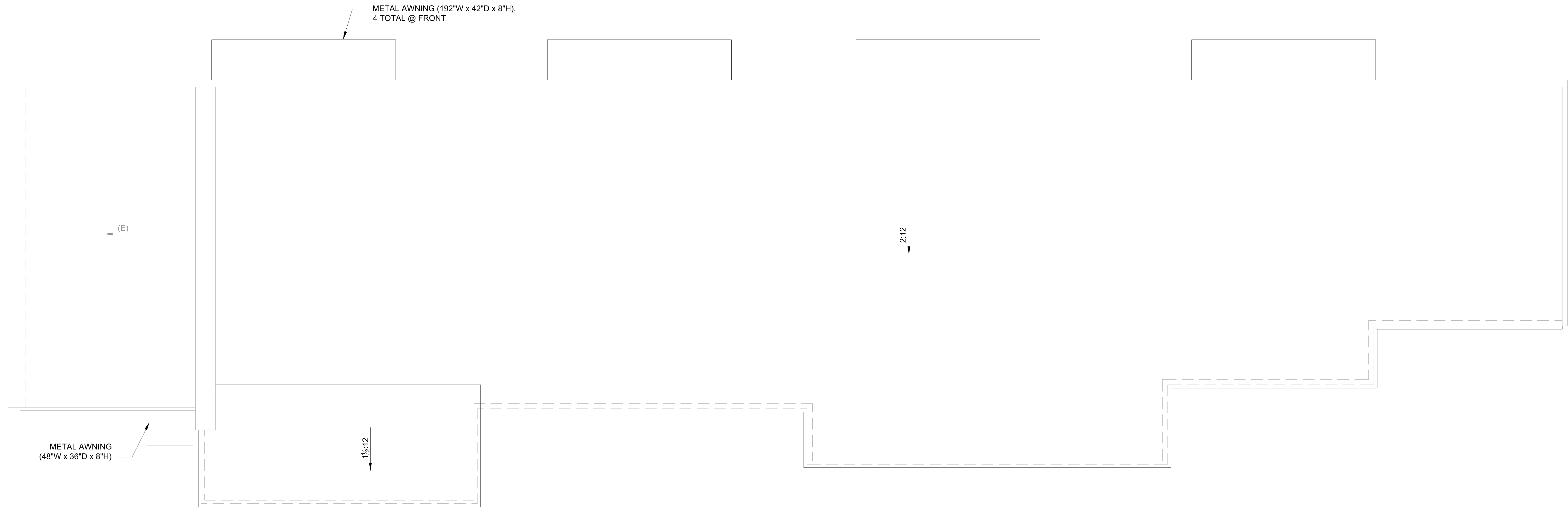
FLOOR AREA		
HATCH	SPACE	FLOOR AREA (SQ.FT.)
	TENANT SPACE 1	710
	TENANT SPACE 2	1,165
	TENANT SPACE 3	1,370
	TENANT SPACE 4	628
	UTILITY	164
TOTAL TENANT SPACE =		3,873
TOTAL AREA =		4,037

WALL LEGEND

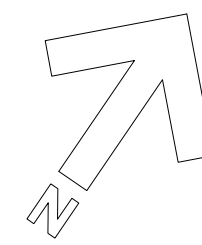
	(N) 2x8 WALL
	(N) 2x6 WALL
	(E) WALL TO REMAIN

Floor Plan - 1/4" = 1'-0"





Roof Plan - 1/4" = 1'-0"



**Design Review Application for
 420 Placerville Dr Commercial Bldg**
 416 - 426 Placerville Dr
 Placerville, CA 95667

Owner
 John Williams

Revisions	Sym	Description	Date	By

Designed AS

Drawn AS

Date 05/24

Roof Plan

Sheet

A2.2

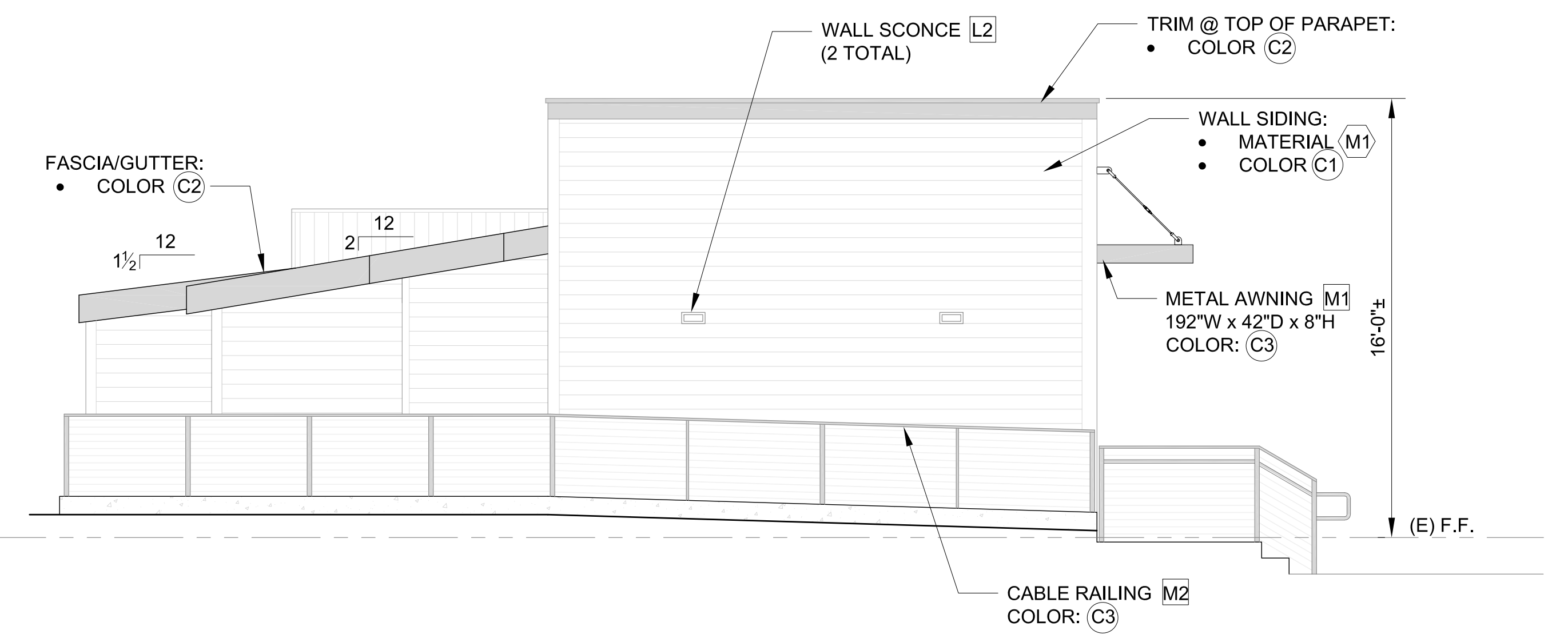


North Elevation $\frac{A}{A3.1} - 1/4" = 1'-0"$

See sheet A4.1 for material specifications.

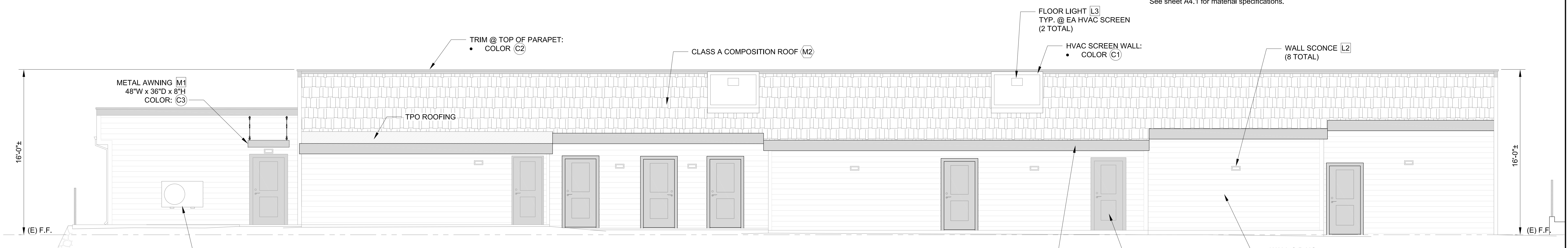
WALL SIGN MAX AREA			
SIGN NO.	FRONTAGE (LF)	MAX AREA (SQ.FT)	AS SHOWN (SQ.FT)
1	30	60	30
2	35	70	30
3*	52	101.34	30
4*			30
5	16	32	25

*SIGNS 3 & 4 BY TENANT SPACE 4. TOTAL AREA OF SIGNS 3 & 4 SHALL NOT EXCEED 101.34 SQ.FT.



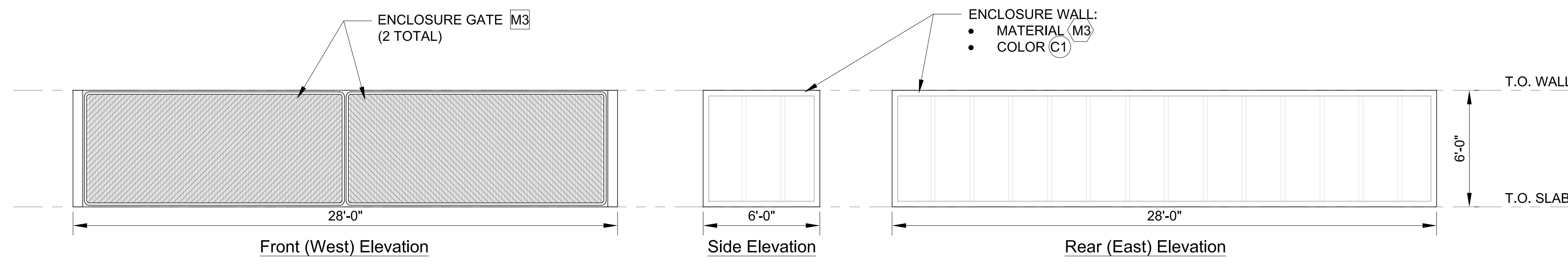
East Elevation $\frac{B}{A3.1} - 1/4" = 1'-0"$

See sheet A4.1 for material specifications.

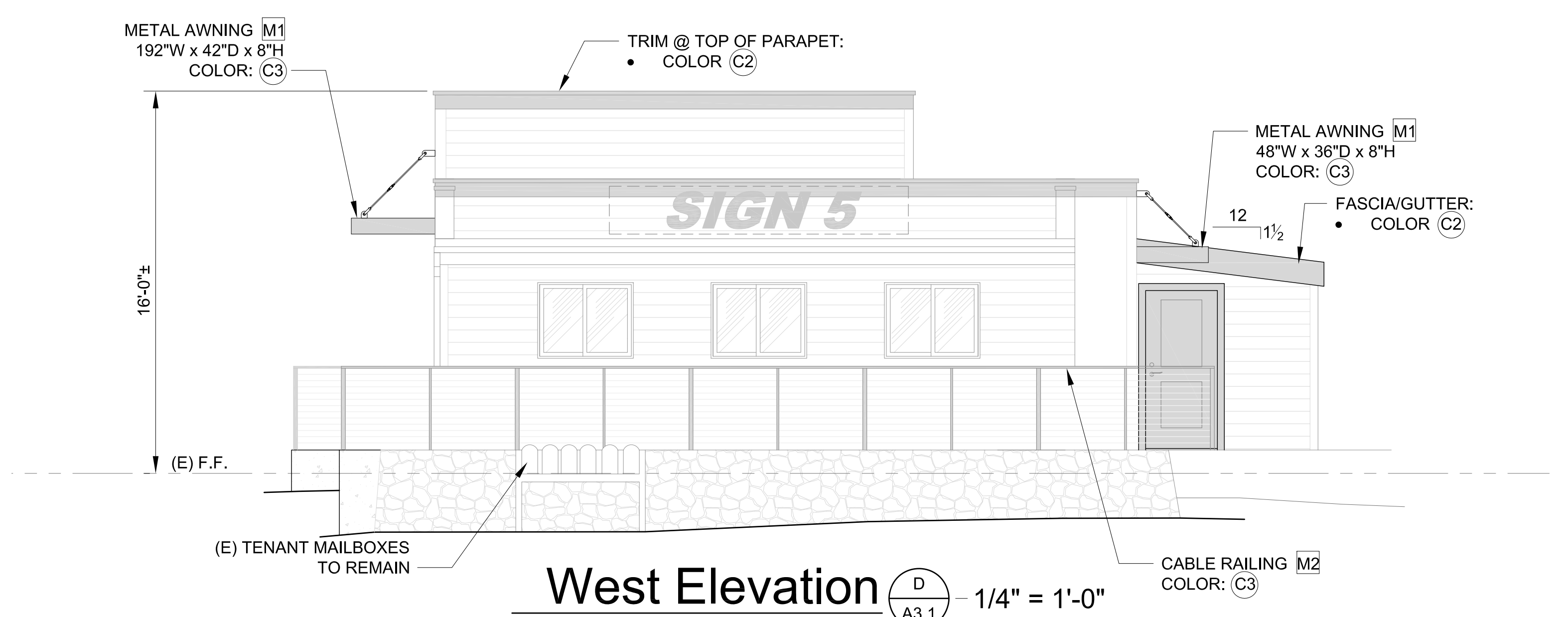


South Elevation $\frac{C}{A3.1} - 1/4" = 1'-0"$

See sheet A4.1 for material specifications.



Trash Enclosure Elevations $\frac{1}{A3.1} - 1/4" = 1'-0"$




West Elevation $\frac{D}{A3.1} - 1/4" = 1'-0"$

See sheet A4.1 for material specifications.


Owner	John Williams
By	
Date	
Revisions	
Designed	AS
Drawn	AS
Date	05/24
Elevations & Section	
Sheet	A3.1

Material & Texture


M1 Lap Siding
 James Hardie HardiePlank® Primed Smooth Fiber Cement Lap Siding (or sim'l)
 • 8.25" Width / 7" Exposure
 • See adj. Color Chart for paint color



M2 Composition Roof
 Timberline HDZ® Shingles (or sim'l)
 • Color: Oyster Gray



M3 Board & Batten
 Hardie® Panel Vertical Siding & Hardie® Trim Board 0.75"x2.5" Batten Board @ 24" o.c.

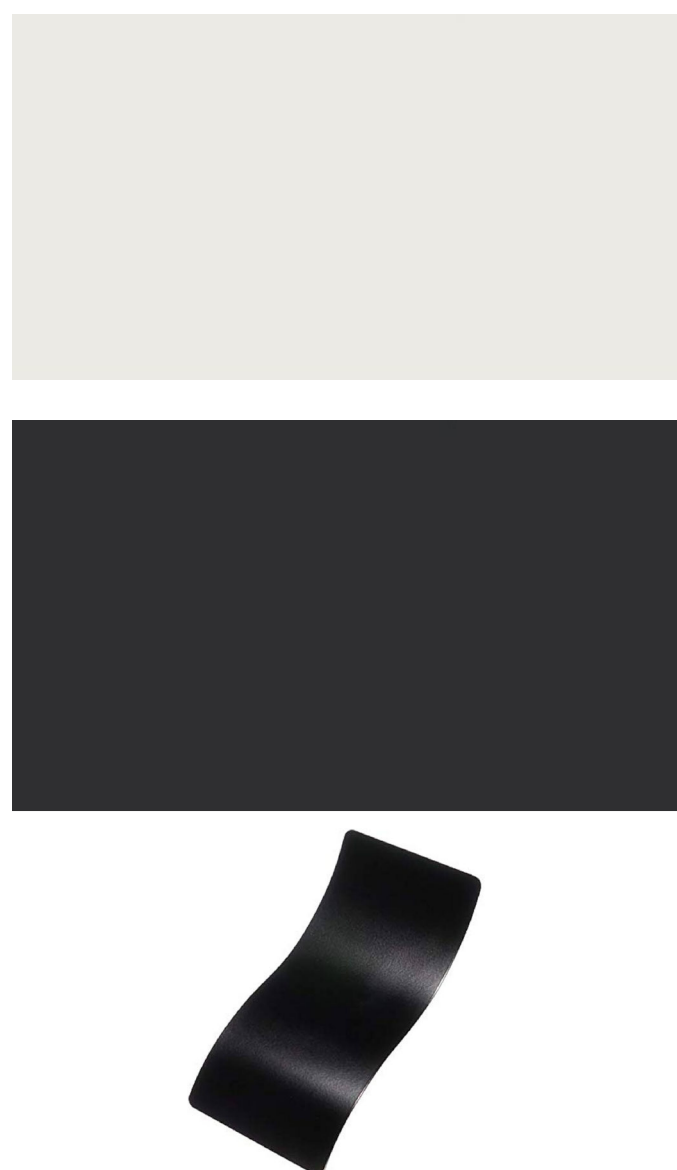


Color Chart

C1 Siding
 "Snowbound" by Sherwin-Williams (SW 7004)

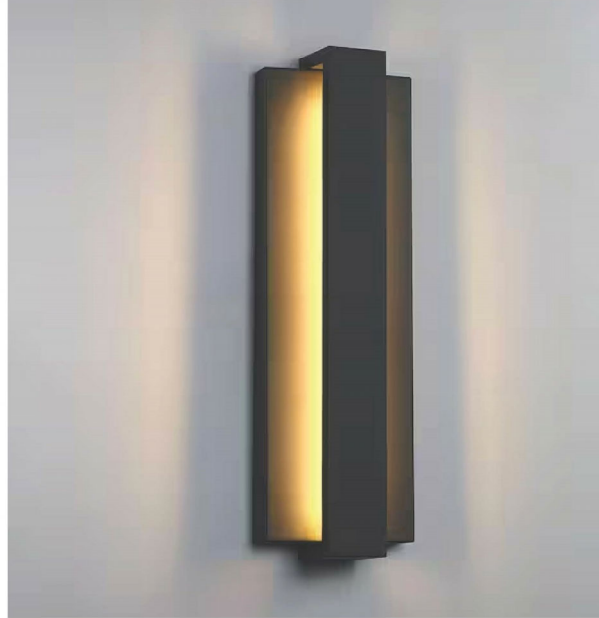
C2 Trim & Doors
 "Tricorn Black" by Sherwin-Williams (SW 6258)

C3 Black Powder Coat
 Powder Coating on Metal




Light Fixtures


L1 Wall Sconce (Front)
 Reflect 18.7"H x 6"W Black Modern/Contemporary LED Outdoor Wall Sconce by True Fine
 • 600 Lumens
 • 3000K Soft White



L2 Wall Sconce (Side/Rear)
 Outdoor Wall Mount Black Porch Light by Juyace
 10.2"W x 4.9"H x 4.9"D
 • 1800 Lumens
 • 6000K Cool White




L3 Flood Light
 180-Degree Movable Black Outdoor LED Flood Light w/ 3- CCT Settings by Amax Lighting
 12.6"W x 8.5"H x 3"D
 • 4500 min, 8300 max Lumens
 • 2300K-3200K-4000K




Misc. Fixtures

M1 Metal Awning
 Custom suspended metal awning
 • 192"W x 42"D x 8"H @ Front/North Wall
 • 48"W x 36"D x 8"H @ Rear/South Wall



M2 Cable Railing
 Cable railing system with stainless steel cables and metal post / top rail / handrail



M3 Trash Enclosure Gate
 Chain link gate w/ black privacy slats



Owner
 John Williams

Revisions	Sym	Description	Date	By

Designed AS

Drawn AS

Date 05/24

Materials & Color Chart

Sheet

A4.1